

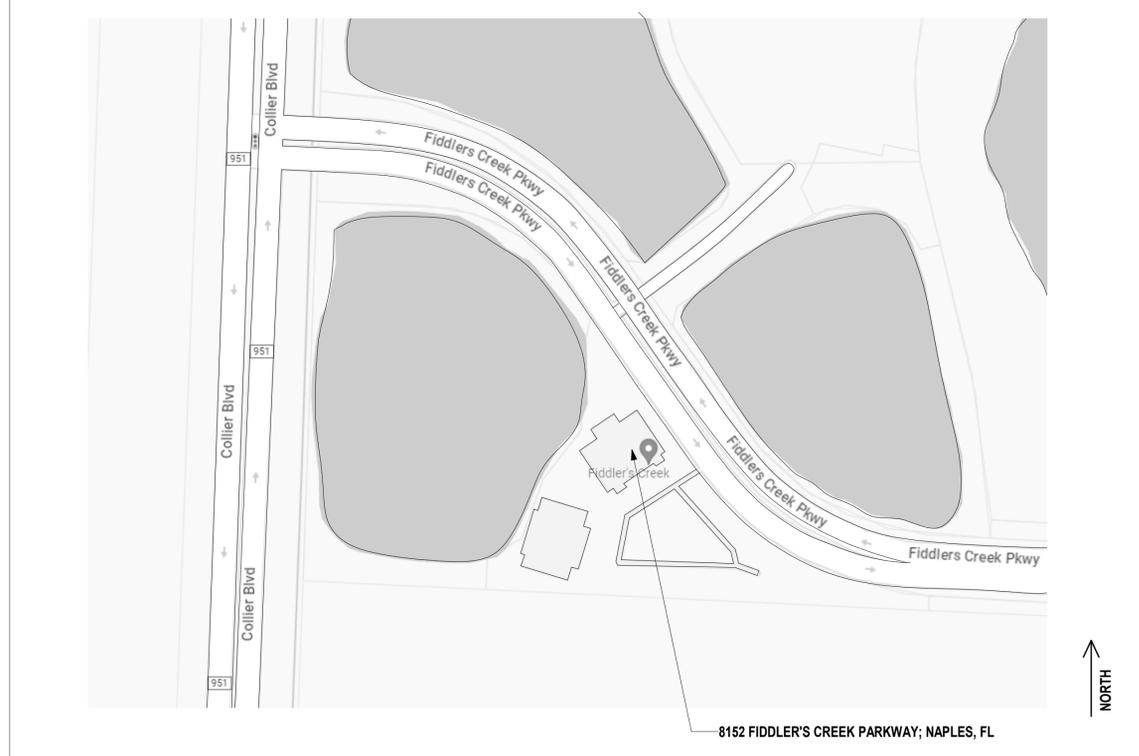
# ABBREVIATIONS

AB ANCHOR BOLT	MATL MATERIAL
AC AIR CONDITIONING	MAX MAXIMUM
AFF ABOVE FINISHED FLOOR	MECH MECHANICAL
ALT ALTERNATE	MEMB MEMBRANE
ALUM ALUMINUM	MTL MEAN TIDE LEVEL
APC ACOUSTICAL PANEL CEILING	MFC METAL FURRING CHANNEL
APPROX APPROXIMATELY	MFR MANUFACTURER
ARCH ARCHITECTURE	MIN MINIMUM
BD BOARD	MIR MIRROR
BLDG BUILDING	MISC MISCELLANEOUS
BLK BLOCK	MO MASONRY OPENING
BRG BEARING	MR MOISTURE RESISTANT
BTWN BETWEEN	NAT NATURAL
CAB CABINET	NIC NOT IN CONTRACT
CJ CONTROL JOINT	NOM NOMINAL
CL CENTERLINE	NTS NOT TO SCALE
CLG/CELL CEILING	OA OVERALL OUTSIDE AIR
CEM CEMENT	OC ON CENTER
CL CLOSET	OH OVERHEAD
CL CENTER LINE	OPNG OPENING
CLR CLEAR	OPP OPPOSITE
COL COLUMN	OPH OPPOSITE HAND
CONC CONCRETE	OIO OUT TO OUT
CONST CONSTRUCTION	ORIG ORIGINAL
CONT CONTINUOUS	PART PARTITION
CONTR CONTRACTOR	PL PLATE
CMU CONCRETE MASONRY UNIT	PLAM PLASTIC LAMINATE
CT CERAMIC TILE	PLWD PLYWOOD
CTR CENTER	PNL PANEL
DEG ( ) DEGREE	PNT/PTD PAINT/PAINTED
DEMO DEMOLITION	POL POLISHED
DEPT DEPARTMENT	# POUND
DTL DETAIL	PREFAB PREFABRICATED
DIA DIAMETER	PROJ PROJECT
DIM DIMENSION	PSF POUNDS PER SQUARE FOOT
DN DOWN	PSI POUNDS PER SQUARE INCH
DR DOOR	PT PRESSURE TREATED
DS DOWNSPOUT	PT POST TENSION
DWG(S) DRAWING(S)	PVMT PAVEMENT
DF DRINKING FOUNTAIN	QTY QUANTITY
EA EACH	RD ROOF DRAIN
EL/ELEV ELEVATION	REF REFRIGERATOR
ELEC ELECTRIC/ELECTRICAL	REF REFERENCE
EQ EQUAL	REQD REQUIRED
EQUIV EQUIVALENT	REINF REINFORCED/REINFORCING
EQUIP EQUIPMENT	RET RETURN
ETR EXISTING TO REMAIN	REV REVERSE/REVISION
EW EACH WAY	RM ROOM
EXH EXHAUST	RO ROUGH OPENING
EXT EXTERIOR	RCP REFLECTED CEILING PLAN
FD FLOOR DRAIN	SCHED SCHEDULE
FIN FINISH	SC SOLID CORE
FIX FIXTURE	SD SOAP DISPENSER
FL FLOOR	SEP SEPARATE
FIN FINISH	SECT SECTION
FIX FIXTURE	SF SQUARE FEET
FL FLOOR	SHT SHEET
FLUOR FLUORESCENT	SIM SIMILAR
FTG FOOTING	SPECS SPECIFICATION
FURR FURRING	SPKR SPEAKER
GA GAGE/GAUGE	SO SQUARE
GALV GALVANIZED	STD STANDARD
GL GLASS/GLAZING	STL STEEL
GR GRADE	STOR STORAGE
GWP GYPSUM WALL BOARD	SUB SUBSTITUTE/SUBSTRATE
HB HOSE BIBB	SURF SURFACE
HCP HANDICAP	SUSP SUSPEND / SUSPENDED
HWIR HARDWARE	SYS SYSTEM
HWOD HARDWOOD	T&G TONGUE & GROOVE
HGT HEIGHT	TEL TELEPHONE
HM HOLLOW METAL	THK THICK/THICKNESS
HR HOUR	TPH TOILET PAPER HOLDER
HVAC HEATING/VENTILATING	TOS TOP OF SLAB
HW HOT WATER	TRANS TRANSFORMER
IN INCH	TYP TYPICAL
INCAND INCANDESCENT	UGND UNDERGROUND
INCL INCLUDE	UL UNDERWRITERS LABORATORIES
INFO INFORMATION	UNO UNLESS NOTED OTHERWISE
INSUL INSULATE / INSULATION	VERT VERTICAL
INT INTERIOR	VIF VERIFY IN FIELD
KIT KITCHEN	W/ WITH
LAM LAMINATED	WC WATER CLOSET
LAV LAVATORY	WH WATER HEATER
LB/LBS POUND / POUNDS	WM WIRE MESH
LIN LINEAR	W/O WITHOUT
LL LIVE LOAD	WP WATERPROOF
LT LIGHT	WS WEATHER STRIPPING
LVR LOUVER	WWF WELDED WIRE FABRIC

# PROJECT DATA

<b>SITE DATA</b>	
PROJECT ADDRESS:	8152 FIDDLER'S CREEK PARKWAY; NAPLES, FL 34114-0816
MUNICIPALITY:	COLLIER COUNTY
ZONING:	PUD
FLOOD ZONE:	AE-7 — BFE=8
<b>PROJECT DESCRIPTION:</b>	
THE PROJECT UNDER THIS SCOPE INVOLVES AN INTERIOR RENOVATION OF AN EXISTING SALES CENTER AND IS A LEVEL II ALTERATION AS PER FBC EXISTING BUILDING CODE, 8TH EDITION, CHAPTER 6 CLASSIFICATION OF WORK SECTION 603 AND A "MODIFICATION" PER NFPA 101 43.2.2.1.3.	
FBC EXISTING BUILDING 604.1 SCOPE: LEVEL II ALTERATIONS INCLUDE THE ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM, OR THE INSTALLATION OF ANY ADDITIONAL EQUIPMENT.	
NFPA 101 43.2.2.1.1 "MODIFICATION": THE RECONFIGURATION OF ANY SPACE; THE ADDITION, RELOCATION, OR ELIMINATION OF ANY DOOR OR WINDOW; THE ADDITION OR ELIMINATION OF LOAD-BEARING ELEMENTS; THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM; OR THE INSTALLATION OF ANY ADDITIONAL EQUIPMENT. ⚠	
<b>DESIGN CRITERIA (APPLICABLE CODES):</b>	
EXISTING BUILDING: FBC – FLORIDA BUILDING CODE, 8 <sup>TH</sup> EDITION (2023) BUILDING CODE: FBC – FLORIDA BUILDING CODE, 8 <sup>TH</sup> EDITION (2023) FIRE PREVENTION CODE: - FFPC – FLORIDA FIRE PREVENTION CODE, 8 <sup>TH</sup> EDITION (2023) ELECTRICAL CODE: NFPA 70 – NATIONAL ELECTRICAL CODE (NEC), 2023 EDITION MECHANICAL CODE: FBC-M – FLORIDA BUILDING CODE – MECHANICAL, 8 <sup>TH</sup> EDITION (2023) PLUMBING CODE: FBC-P – FLORIDA BUILDING CODE – PLUMBING, 8 <sup>TH</sup> EDITION (2023) ACCESSIBILITY CODE: FBC-A – FLORIDA BUILDING CODE – ACCESSIBILITY, 8 <sup>TH</sup> EDITION (2023)	
<b>DESIGN CRITERIA (ADDITIONAL INFORMATION):</b>	
<b>OCCUPANCY TYPE (FBC CH.3):</b>	GROUP B: BUSINESS (FBC 304.1, LSC CH.38) SUPPORT STAFF OFFICES
<b>CONSTRUCTION TYPE (FBC CH 6):</b>	TYPE V-B
<b>BUILDING HEIGHT:</b>	(1) STORY. HEIGHT 22'-7" TO MIDPOINT OF ROOF AND 41'-1" TO TOP OF ROOF. EXISTING HEIGHT TO REMAIN.
<b>BUILDING AREA:</b>	+/- 8,932 SQ FT. EXISTING AC AREA TO REMAIN.
<b>BUILDING OCCUPANT LOAD:</b>	126 PERSONS (SEE OCCUPANT LOAD CALCULATIONS ON SHEET LS-1.01) ⚠
EXISTING SPRINKLER SYSTEM TO REMAIN, NEW HEADS IN AREA OF WORK.	

# LOCATION MAP



SHEET #	SHEET NAME	PERMIT / SUBMITTAL 1 05.27.2025	REVISION 1 / SUBMITTAL 2 07.03.2025	REVISION 2 / SUBMITTAL 3 07.28.2025
<b>ARCHITECTURE</b>				
A-0.00	DRAWING INDEX, DATA, GEN INFO	•	•	•
A-0.20	GENERAL INFORMATION	•	•	•
A-0.21	GENERAL INFORMATION	•	•	•
A-0.40	ADA ACCESSIBILITY GUIDELINES	•	•	•
A-0.60	PARTITION NOTES, TYP.	•	•	•
A-0.61	PARTITION TYPES	•	•	•
A-1.00-1	GROUND FLOOR PLAN	•	•	•
A-1.00-2	GROUND FLOOR - DIMENSION PLAN	•	•	•
A-1.00-3	GROUND FLOOR - FURNITURE & POWER PLAN	•	•	•
A-1.00-4	GROUND FLOOR - REFLECTED CEILING PLAN	•	•	•
A-2.01	REAR BUILDING ELEVATIONS	•	•	•
A-4.01-1	ENLARGED GROUND FLOOR PLAN I	•	•	•
A-4.01-2	GROUND FLOOR ELEVATIONS I	•	•	•
A-4.02-1	ENLARGED GROUND FLOOR PLAN II	•	•	•
A-4.02-2	GROUND FLOOR ELEVATIONS II	•	•	•
A-4.03-1	ENLARGED GROUND FLOOR PLAN III	•	•	•
A-4.04-1	ENLARGED GROUND FLOOR PLAN IV	•	•	•
A-4.04-2	GROUND FLOOR ELEVATIONS IV	•	•	•
A-4.05-1	ENLARGED GROUND FLOOR PLAN V	•	•	•
A-4.06-1	ENLARGED GROUND FLOOR PLAN VI	•	•	•
A-4.06-2	GROUND FLOOR ELEVATIONS VI	•	•	•
A-4.07-1	ENLARGED RESTROOM PLANS & ELEVATIONS	•	•	•
A-4.07-2	ENLARGED RESTROOM PLANS & ELEVATIONS	•	•	•
A-5.55	TYPICAL INTERIOR DETAILS	•	•	•
A-6.00	DOOR SCHEDULE	•	•	•
A-6.01	WINDOW SCHEDULE	•	•	•
A-6.02	MISCELLANEOUS SCHEDULES	•	•	•
AD-1.00	GROUND FLOOR - DEMOLITION PLAN	•	•	•
AD-1.01	GROUND FLOOR - DEMOLITION REFLECTED CEILING PLAN	•	•	•
LS-1.01	GROUND FLOOR - LIFE SAFETY PLAN	•	•	•
<b>ELECTRICAL</b>				
E0.00	ELECTRICAL GENERAL NOTES AND INDEX	•	•	•
E0.01	ELECTRICAL SYMBOLS & LEGEND	•	•	•
E1.01	ELECTRICAL 1ST FLOOR FINISH PLAN	•	•	•
E1.02	REFLECTED CEILING PLAN 1ST FLOOR	•	•	•
E2.00	ELECTRICAL PANEL SCHEDULES	•	•	•
E3.00	ELECTRICAL RISER DIAGRAMS	•	•	•
E5.00	ELECTRICAL DETAILS	•	•	•
ED1.01	DEMOLITION ELECTRICAL 1ST FLOOR FINISH PLAN	•	•	•
ED1.02	DEMOLITION REFLECTED CEILING 1ST FLOOR FINISH PLAN	•	•	•
<b>FIRE PROTECTION</b>				
FP0.00	FIRE PROTECTION SYMBOLS, LEGEND, NOTES AND INDEX	•	•	•
<b>MECHANICAL</b>				
M0.00	MECHANICAL SYMBOLS, LEGEND, NOTES AND INDEX	•	•	•
M1.02	REFLECTED CEILING PLAN 1ST FLOOR - HVAC	•	•	•
M2.00	MECHANICAL SCHEDULES	•	•	•
M5.00	MECHANICAL DETAILS	•	•	•
M5.01	MECHANICAL DETAILS	•	•	•
MD1.02	DEMOLITION REFLECTED CEILING 1ST FLOOR FINISH PLAN - HVAC	•	•	•
<b>PLUMBING</b>				
P0.00	PLUMBING SYMBOLS, LEGEND, NOTES AND INDEX	•	•	•
P1.01	PLUMBING 1ST FLOOR FINISH PLAN	•	•	•
P2.00	PLUMBING DETAILS	•	•	•
<b>STRUCTURAL</b>				
S-01	GENERAL NOTES & DWG. INDEX	•	•	•
S-02	GROUND FLOOR DEMOLITION PLAN	•	•	•
S-03	GROUND FLOOR FRAMING PLAN	•	•	•
S-04	ROOF FRAMING PLAN	•	•	•
S-05	WIND PRESSURES	•	•	•
S-06	WIND PRESSURES	•	•	•
S-07	TYPICAL DETAILS & SCHEDULES	•	•	•

# SYMBOLS LEGEND

	NORTH ARROW		PARTITION TYPE TAG
	ELEVATION		WINDOW TAG
	BUILDING / WALL SECTIONS		DOOR TAG
	DETAIL		VERTICAL ELEVATION TAG
	ELEVATIONS		REVISION TAG
	ROOM TAG		MATERIAL KEYNOTE
	FINISH TAG		CENTERLINE
	DRAWING TITLE		COLUMN BUBBLE
	DRAWING SCALE		MATCH LINE: SEE SHEET sheet #
	DRAWING NUMBER		
	SHEET NUMBER		

# FIDDLER'S CREEK SALES CENTER

GULF BAY COMMUNITIES, INC.

# INTERIOR RENOVATION PROJECT

**PERMIT SET 05.27.2025**  
 PROJECT NUMBER: 2103  
 SHEET NUMBER: **A-0.00**  
 PRINT DATE: 8/12/2025 5:04 PM

**garcia stromberg**  
 Peter T. Stromberg, RA, NCARB  
 Chief Architect  
 AR0015993  
 2805 Veda Parkway, Suite #6 | West Palm Beach, FL 33411 | TEL: 407-578-9605

**GULF BAY DEVELOPMENT**  
 8152 FIDDLER'S CREEK PARKWAY, NAPLES, FL 34114

**SALES CENTER**  
 FIDDLER'S CREEK NAPLES, FL

**DRAWING INDEX, DATA, GEN INFO**

REV	DESCRIPTION	DATE
0	PERMIT / SUBMITTAL 1	05.27.2025
1	REVISION 1 / SUBMITTAL 2	07.03.2025
2	REVISION 2 / SUBMITTAL 3	08.01.2025

# GENERAL NOTES

1. THE CONTRACTOR SHALL PERFORM AND CONSTRUCT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL WORK TO BE PERFORMED UNDER THIS CONTRACT SHALL COMPLY WITH THE CURRENT BUILDING CODES AS STATED IN THE LIFE SAFETY DRAWINGS AND CODE ANALYSIS, AS WELL AS ALL FEDERAL, STATE, COUNTY, OR CITY ORDINANCES, RULES AND REGULATIONS AND THE FLORIDA STATE STATUTES AS LISTED IN THE CONTRACT DOCUMENTS.

2. THE CONTRACTOR SHALL CARRY PUBLIC LIABILITY, PROPERTY AND WORKMENS COMPENSATION INSURANCE IN SUCH AMOUNTS DEEMED ACCEPTABLE TO THE OWNER, FINANCIAL AGENCIES AND STATE LAW. VALID CERTIFICATES OF ALL POLICIES SHALL BE PROVIDED TO THE OWNER WITH OWNER/CONTRACTOR LISTED AS ADDITIONAL INSURED.

3. UNLESS OTHERWISE AGREED, THE AIA DOCUMENT A201 - "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" SHALL BE THE GENERAL CONDITIONS OF THE CONTRACT SET FORTH THAT SETS THE RESPONSIBILITIES OF THE OWNER, CONTRACTOR AND ARCHITECT DURING CONSTRUCTION OF THE PROJECT, ALONG WITH ANY REVISIONS AND SUPPLEMENTAL CONDITIONS AGREED TO BY BOTH THE OWNER AND THE ARCHITECT.

4. THE CONTRACT DOCUMENTS ARE ENUMERATED IN THE AGREEMENT BETWEEN THE OWNER AND CONTRACTOR AND CONSIST OF THE AGREEMENT, CONDITIONS OF THE CONTRACT, SUPPLEMENTARY AND OTHER CONDITIONS, DRAWINGS, SPECIFICATIONS, PROJECT MANUALS, TEST REPORTS / STUDIES, ADDENDA ISSUED PRIOR TO EXECUTION OF THE CONTRACT, OTHER DOCUMENTS LISTED IN THE AGREEMENT, DRAWINGS AND SPECIFICATIONS AND ANY MODIFICATIONS ISSUED AFTER THE EXECUTION OF THE CONTRACT FOR CONSTRUCTION.

5. MODIFICATION TO THE CONTRACT DOCUMENTS WILL BE MADE WITH (1) WRITTEN AMENDMENTS TO THE CONTRACT, SIGNED BY THE APPROPRIATE PARTIES, (2) A CHANGE ORDER, (3) A CONSTRUCTION CHANGE DIRECTIVE (CCD) OR (4) A WRITTEN ORDER FOR A MINOR CHANGE IN THE WORK ISSUED BY THE ARCHITECT.

6. THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING THE CONTRACT DOCUMENTS, INCLUDING, BUT NOT LIMITED TO THE DRAWINGS, PROJECT MANUAL, SPECIFICATIONS, CONDITIONS AND REPORTS; AND TO ASSURE COORDINATION OF ALL WORK AFFECTING EACH TRADE. FAILURE TO REVIEW ALL CONTRACT DOCUMENTS FOR APPLICABLE ITEMS OF WORK SHALL NOT RELIEVE THE RESPONSIBLE PARTY FROM PERFORMING ALL WORK REQUIRED. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PERFORMING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND IS RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES DURING THE PERFORMANCE OF THE WORK UNDER THIS CONTRACT.

7. THE DRAWINGS ARE THE GRAPHIC AND PICTORIAL PORTION OF THE CONTRACT DOCUMENTS SHOWING THE DESIGN INTENT, LOCATION AND DIMENSIONS OF THE WORK. THE DRAWINGS ARE ONLY DIAGRAMMATIC AND IT IS NOT THE INTENT OF THE DRAWINGS TO SHOW EVERY DETAIL OF CONSTRUCTION. THE GENERAL CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS NECESSARY FOR COMPLETION OF ALL SYSTEMS AND COMPONENTS AS INDICATED IN THE CONTRACT DOCUMENTS.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY COORDINATING ALL ASPECTS OF THE CONSTRUCTION INCLUDING CROSS REFERENCING ALL RELATED DOCUMENTS AND DRAWINGS. SHOULD THE SERVICES OF THE ARCHITECT AND/OR HIS CONSULTANTS BE REQUIRED TO REMEDY OR REVISE THE CONSTRUCTION DUE TO ERRORS AND/OR OMISSIONS BY THE CONTRACTOR AND SUB-CONTRACTORS, COMPENSATION FOR THESE SERVICES SHALL BE MADE BY THE CONTRACTOR THROUGH THE CHANGE ORDER PROCESS OR BY SEPARATE AGREEMENT WITH THE ARCHITECT AND/OR HIS CONSULTANTS.

9. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO THE SUBMITTAL OF BID AND/OR CONTRACT NEGOTIATIONS AND SHALL VERIFY EXISTING CONDITIONS WITH THE CONSTRUCTION DOCUMENTS. DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS (AND THEIR INTENT) SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION. BIDS SHALL NOT BE SUBMITTED OR CONSTRUCTION CONTRACTS NEGOTIATED BY THE CONTRACTOR PRIOR TO CLARIFICATION OF THE INTENT OF THE CONSTRUCTION DOCUMENTS WHERE SUCH INTENT IS IN DOUBT.

10. IF THE WORK BEING PERFORMED IN AN EXISTING BUILDING AND/OR AS AN ADDITION OR ALTERATIONS TO AN EXISTING BUILDING, THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS WITH REFERENCE TO ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, FIRE ALARM / SUPPRESSION, AND ELECTRICAL SYSTEMS. ANY DISCREPANCIES BETWEEN THESE EXISTING CONDITIONS AND CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO THE SUBMISSION OF BIDS OR CONTRACT NEGOTIATIONS. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE WORK BY ALL TRADES, SUPPLIERS, SUBCONTRACTORS AND OTHER PROVIDERS TO INSURE THAT THE WORK, WHEN COMPLETED, WILL BE IN ACCORDANCE WITH THE INTENT OF THE CONSTRUCTION DOCUMENTS.

11. THE OBLIGATION OF THE CONTRACTOR IS TO ASSURE COORDINATION AND VERIFICATION OF EXISTING CONDITIONS, NOT FOR THE PURPOSE OF DISCOVERING INCONSISTENCIES OR ERRORS IN THE CONTRACT DOCUMENTS. HOWEVER, THE CONTRACTOR SHALL PROMPTLY REPORT ANY DISCREPANCIES WITH THE DRAWINGS INCLUDING DIMENSIONS, CONFLICTS OR OTHERWISE, TO THE ATTENTION OF THE ARCHITECT IN WRITING AND VERIFIED PRIOR TO THE START OF CONSTRUCTION.

12. ALL DIMENSIONS, SPECIFICATIONS AND NOTES PROVIDED HEREIN SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO PERFORMANCE OF THE WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT IN WRITING. THESE DRAWINGS SHOULD NOT BE SCALED TO OBTAIN DIMENSIONS. REFER TO DIMENSIONS INDICATED. ANY DIMENSION NOT PROVIDED OR MIS-LABELLED SHALL BE VERIFIED WITH THE ARCHITECT PRIOR TO COMMENCING CONSTRUCTION.

13. THE CONTRACTOR SHALL TAKE APPROPRIATE ACTION TO PROVIDE THE NECESSARY PROTECTION OF THE PUBLIC AND PREVENT ACCESS TO THE PROJECT SITE. CONTRACTOR SHALL PROVIDE THE PROTECTION MEANS OF ALL ADJOINING PROPERTIES. ADJOINING PUBLIC AND PRIVATE PROPERTIES SHALL BE PROTECTED FROM DAMAGES DURING CONSTRUCTION, REMODELING AND DEMOLITION WORK. PROTECTION SHALL BE PROVIDED FOR FOOTINGS, FOUNDATIONS, PARTY WALLS, CHIMNEYS, SKYLIGHTS, WINDOWS, DOORS AND ROOFS. PROVISIONS SHALL BE MADE TO CONTROL WATER RUNOFF AND EROSION DURING CONTRACTION OR DEMOLITION ACTIVITIES.

14. CONTRACTOR SHALL NOTIFY IN WRITING TO THE OWNERS OF ADJOINING PROPERTIES, ADVISING THEM OF THE PROTECTION BEING TAKEN, PRIOR TO ANY EXCAVATION TAKING PLACE. THE NOTICE SHALL BE DELIVERED NOT LESS THAN TEN (10) DAYS PRIOR TO THE SCHEDULE STARTING DATE OF THE EXCAVATION. THE CONTRACTOR IS TO COORDINATE AND ORGANIZE THE CONSTRUCTION PROCESS AND COMPLETE THE SAME IN A MANNER WHICH IMPACTS THE ADJOINING PROPERTY IN AN ORDER TO MINIMIZE ANY INCONVENIENCE TO THE EXISTING USERS.

15. THE CONTRACTOR AND THEIR SUB-CONTRACTORS SHALL BE RESPONSIBLE TO EMPLOY THOSE CONTROL MEASURES NECESSARY TO ENSURE THAT NO PROJECT RELATED POLLUTANTS HAVE ENTERED THE STORM WATER SYSTEM OR MIGRATED OFF-SITE. THE CONTRACTOR SHALL PROVIDE A CERTIFIED LETTER TO THE OWNER ON A MONTHLY BASIS, THAT NO PROJECT RELATED POLLUTANTS HAVE ENTERED THE STORM WATER SYSTEM OR MIGRATED OFF-SITE FOR THE REQUIREMENTS OF THE AHJ.

16. ANY STRUCTURES UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION OPERATIONS, THE CONTRACTOR SHALL COMPLY WITH FBC CHAPTER 33 (SAFEGUARDS DURING CONSTRUCTION) AND THE NFPA 241.

17. THE CONTRACTOR SHALL CALL 1-800-432-4770 OR 811 (BEFORE YOU DIG), TWO (2) FULL BUSINESS DAYS BEFORE THE START OF ANY DIGGING. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DISRUPTION TO ANY UTILITY SERVICE DAMAGED.

18. THE CONTRACTOR SHALL KEEP ALL EXITS THAT ARE REQUIRED FOR EGRESS, OPERATIONAL AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO EMPLOY CONTROL MEASURES NECESSARY TO ENSURE THAT THE CONSTRUCTION PROCESS WILL NOT HINDER OR INTERFERE WITH EMERGENCY RESPONSE ACCESS TO THE PROPERTY, DEVELOPMENT OR ADJACENT PROPERTIES (STREETS, ALLEYS, FIRE LANES, ETC.).

19. THE CONTRACTOR WILL PROVIDE, INSTALL AND MAINTAIN TEMPORARY FIRE EXTINGUISHERS AT ALL TIMES DURING CONSTRUCTION. COORDINATE AND LOCATE AS REQUIRED BY THE LOCAL FIRE MARSHAL PER NFPA 10, NFPA 101, AND NFPA 241. THE CONTRACTOR SHALL PROVIDE TEMPORARY STANDPIPES AS STRUCTURE RISES IN ACCORDANCE WITH THE CURRENT BUILDING CODES. THE TEMPORARY STANDPIPES MAY BECOME PERMANENT AS PART OF THE CONSTRUCTION IF CERTIFIED BY THE PROPER AUTHORITIES.

20. THE CONTRACTOR SHALL MAINTAIN AT THE SITE FOR THE OWNER, ONE COPY OF THE DRAWINGS (INCLUDING ALL PREVIOUS REVISIONS), SPECIFICATIONS, ADDENDA, CHANGE ORDERS AND OTHER MODIFICATIONS, ALONG WITH THE APPROVED CERTIFIED SET FROM THE AUTHORITY HAVING JURISDICTION, IN GOOD ORDER AND MARKED CURRENTLY TO INDICATE FIELD CHANGES AND SELECTIONS MADE DURING CONSTRUCTION, AND ONE COPY OF APPROVED SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND SIMILAR REQUIRED SUBMITTALS. THESE SHALL BE AVAILABLE TO THE ARCHITECT AND SHALL BE DELIVERED TO THE ARCHITECT FOR SUBMITTAL TO THE OWNER UPON COMPLETION OF THE WORK AS A RECORD OF THE WORK AS CONSTRUCTED.

21. THE CONTRACT DOCUMENTS INCLUDED UNDER THIS CONTRACT ARE AN INSTRUMENT OF THE ARCHITECT AND THEIR CONSULTANTS SERVICES AND SHOULD NOT BE REGARDED AS A PRODUCT. THE CONTRACT DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT AND THEIR CONSULTANTS AND SHALL NOT BE USED FOR ANY OTHER PURPOSES OTHER THAN CONSTRUCTION OF THIS PROJECT.

22. THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION SCHEDULE TO THE ARCHITECT AND OWNER FOR REVIEW PRIOR TO COMMENCING WORK, ALONG WITH A SCHEDULE OF VALUES AND A SHOP DRAWING SUBMITTAL SCHEDULE. THE SHOP DRAWING SUBMITTAL SCHEDULE SHALL INDICATE THE CRITICAL DATES FOR ALL SHOP DRAWING AND SAMPLE SUBMISSIONS. THE SHOP DRAWING SUBMISSION SCHEDULE SHOULD INCLUDE THE DATE FOR SUBMITTAL AND THE DATE OF RETURN OF REVIEWED SHOP DRAWINGS ACCORDING TO THE CONTRACT, PRODUCT DATA AND SAMPLES. THE CONTRACTOR SHALL ALLOW SUFFICIENT TIME IN THE SCHEDULE FOR THE ARCHITECTS REVIEW, INCLUDING THEIR CONSULTANTS AND POSSIBLE RE-SUBMITTALS IF REQUIRED.

23. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, PRODUCT DATA AND SAMPLES TO THE ARCHITECT FOR REVIEW AND COMMENTS. ALL SUBMITTALS SHALL BE PRESENTED IN A CLEAN AND THOROUGH MANNER AND SHALL BE OF SUFFICIENT DETAILS AND SCALE TO INDICATE COMPLIANCE WITH THE CONTRACT DOCUMENTS, MANUFACTURER'S AND TRADE STANDARDS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING, AT THE TIME OF SUBMISSION OF ANY DEVIATIONS IN THE SUBMITTAL FROM THE REQUIREMENT OF THE CONTRACT DOCUMENTS, OR OF ANY DISCREPANCIES IN THE CONTRACT DOCUMENTS. ACCEPTANCE OF A SUBMITTAL DOES NOT WAIVE OR ALTER THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE AND VERIFY FIELD DIMENSIONS, FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION. THE SUBMITTAL SHALL BE REVIEWED BY THE CONTRACTOR AND STAMPED WITH CONTRACTOR'S APPROVAL THAT IT HAS BEEN REVIEWED AND CONFORMS TO THE INTENT OF THE CONSTRUCTION DOCUMENTS, PRIOR TO SUBMITTING TO THE ARCHITECT. INCOMPLETE SUBMITTALS, NOT REVIEWED OR SUBMITTALS NOT STAMPED BY THE CONTRACTOR WILL BE RETURNED TO THE CONTRACTOR WITHOUT BEING REVIEWED BY THE ARCHITECT.

24. SUBSTITUTION REQUESTS BY THE CONTRACTOR SHALL BE MADE BY SUBMITTING THREE COPIES OF EACH REQUEST FOR CONSIDERATION. EACH SUBSTITUTION REQUEST SHALL IDENTIFY PRODUCT OR FABRICATION OR INSTALLATION METHOD TO BE REPLACED. INCLUDE SPECIFICATION SECTION NUMBER AND TITLE AND DRAWING NUMBERS AND TITLES.

a. SUBSTITUTION REQUEST FORM: USE CSI FORM 13.1A.

b. DOCUMENTATION: SHOW COMPLIANCE WITH REQUIREMENTS FOR SUBSTITUTIONS AND THE FOLLOWING, AS APPLICABLE:

- 1) PROVIDE A STATEMENT INDICATING WHY SPECIFIED PRODUCT OR FABRICATION OR INSTALLATION CANNOT BE PROVIDED, IF APPLICABLE.
- 2) COORDINATION INFORMATION, INCLUDING A LIST OF CHANGES OR REVISIONS NEEDED TO OTHER PARTS OF THE WORK AND TO CONSTRUCTION PERFORMED BY OWNER AND SEPARATE CONTRACTORS, THAT WILL BE NECESSARY TO ACCOMMODATE PROPOSED SUBSTITUTION.
- 3) DETAILED COMPARISON OF SIGNIFICANT QUALITIES OF PROPOSED SUBSTITUTION WITH THOSE OF THE WORK SPECIFIED. SIGNIFICANT QUALITIES MAY INCLUDE ATTRIBUTES SUCH AS PERFORMANCE, WEIGHT, SIZE, DURABILITY, VISUAL EFFECT, SUSTAINABLE DESIGN CHARACTERISTICS, WARRANTIES, AND SPECIFIC FEATURES AND REQUIREMENTS INDICATED. INDICATE DEVIATIONS, IF ANY, FROM THE WORK SPECIFIED.
- 4) PRODUCT DATA, INCLUDING DRAWINGS AND DESCRIPTIONS OF PRODUCTS AND FABRICATION AND INSTALLATION PROCEDURES.
- 5) SAMPLES, WHERE APPLICABLE OR REQUESTED.
- 6) CERTIFICATES AND QUALIFICATION DATA, WHERE APPLICABLE OR REQUESTED.
- 7) LIST OF SIMILAR INSTALLATIONS FOR COMPLETED PROJECTS WITH PROJECT NAMES AND ADDRESSES AND NAMES AND ADDRESSES OF ARCHITECTS AND OWNERS.
- 8) MATERIAL TEST REPORTS FROM A QUALIFIED TESTING AGENCY INDICATING AND INTERPRETING TEST RESULTS FOR COMPLIANCE WITH REQUIREMENTS INDICATED.
- 9) RESEARCH REPORTS EVIDENCING COMPLIANCE WITH BUILDING CODE IN EFFECT FOR PROJECT.
- 10) DETAILED COMPARISON OF CONTRACTOR'S CONSTRUCTION SCHEDULE USING PROPOSED SUBSTITUTION WITH PRODUCTS SPECIFIED FOR THE WORK, INCLUDING EFFECT ON THE OVERALL CONTRACT TIME. IF SPECIFIED PRODUCT OR METHOD OF CONSTRUCTION CANNOT BE PROVIDED WITHIN THE CONTRACT TIME, INCLUDE LETTER FROM MANUFACTURER, OR MANUFACTURER'S LETTERHEAD, STATING DATE OF RECEIPT OF PURCHASE ORDER, LACK OF AVAILABILITY, OR DELAYS IN DELIVERY.
- 11) COST INFORMATION, INCLUDING A PROPOSAL OF CHANGE, IF ANY, IN THE CONTRACT SUM.
- 12) CONTRACTOR'S CERTIFICATION THAT PROPOSED SUBSTITUTION COMPLIES WITH REQUIREMENTS IN THE CONTRACT DOCUMENTS EXCEPT AS INDICATED IN SUBSTITUTION REQUEST, IS COMPATIBLE WITH RELATED MATERIALS, AND IS APPROPRIATE FOR APPLICATIONS INDICATED.
- 13) CONTRACTOR'S WAIVER OF RIGHTS TO ADDITIONAL PAYMENT OR TIME THAT MAY SUBSEQUENTLY BECOME NECESSARY BECAUSE OF FAILURE OF PROPOSED SUBSTITUTION TO PRODUCE INDICATED RESULTS.

25. THE RETURN OF SHOP DRAWINGS TO THE CONTRACTOR, WITH OR WITHOUT COMMENT, DOES NOT RELIEVE THE CONTRACTOR AND THEIR SUB CONTRACTORS OF THE RESPONSIBILITY TO CONSTRUCT THE BUILDING PER THE PLANS AND SPECIFICATIONS, EVEN THOUGH THE SHOP DRAWINGS MAY INCORRECTLY DEVIATE FROM THE CONSTRUCTION DOCUMENTS. THE ARCHITECT, THEIR CONSULTANTS OR THE OWNER IS NOT RESPONSIBLE FOR ANY CORRECTIVE CONSTRUCTION RESULTING FROM SHOP DRAWINGS THAT DEVIATE FROM THE CONTRACT DOCUMENTS.

26. THE CONTRACTOR SHALL DELIVER TO OWNER PRIOR TO FINAL PAYMENT ALL GUARANTIES; WARRANTIES AND TWO (2) COPY OF ALL MANUALS AND OPERATING INSTRUCTIONS. CONTRACTOR SHALL ARRANGE TO PROVIDE A LIVE DEMONSTRATION OF ALL EQUIPMENT (OPERATION AND SERVICING) TO OWNER OR REPRESENTATIVE.

27. WHEN TWO (2) OR MORE REQUIREMENTS OR STANDARDS ARE SPECIFIED, ESTABLISHING DIFFERENT OR CONFLICTING LEVELS OF QUALITY, THE CONTRACTOR SHALL SELECT THE MOST STRINGENT REQUIREMENT OR STANDARD AS INTENDED.

28. ALL MATERIALS AND SYSTEMS SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S WRITTEN SPECIFICATIONS AND INSTALLATION INSTRUCTIONS. DELIVERY AND STORAGE OF MATERIALS AND SYSTEMS SHALL BE PER THE MANUFACTURE'S REQUIREMENTS.

29. THE CONTRACTOR SHALL OBTAIN A SPECIALTY ENGINEER WHO SHALL BE RESPONSIBLE FOR ALL MATERIALS, COMPONENTS AND SYSTEMS AS REQUIRED BY THE FBC. SPECIALTY ENGINEERING SHALL ALSO BE PROVIDED FOR SYSTEMS MENTIONED ELSEWHERE IN THE CONTRACT DOCUMENTS AND SPECIFICATIONS.

30. ANY WORK NOTED OR INDICATED AS "BY OWNER" OR "BY TENANT" IN CONTRACT DOCUMENTS SHALL BE COORDINATED BY THE CONTRACTOR WITH THE OWNER.

31. CONTRACTOR SHALL PROVIDE ISOLATION / SEPARATION OF MATERIALS WHEREVER DISSIMILAR METALS CONTACT EACH OTHER, TO PREVENT GALVANIC REACTION AND POTENTIAL CORROSION OR DEGRADATION.

32. CONTRACTOR SHALL COORDINATE AND INSTALL ALL NECESSARY BACKING SUPPORTS FOR CABINETS, SHELVING, TOILET ACCESSORIES, PLUMBING FIXTURES, LIGHT FIXTURES, ETC. FIRE RETARDANT WOOD BLOCKING, NAILERS OR FURRING STRIPS LOCATED IN CONCEALED SPACES, SUCH AS PARTITIONS OR ABOVE CEILINGS ARE ALLOWED.

33. ALL GYPSUM BOARD SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE UNITED STATES GYPSUM "GYPSUM CONSTRUCTION HANDBOOK".

34. ALL FIRE RATED GYPSUM PARTITIONS AND/OR GYPSUM SOUND CONTROL PARTITIONS SHALL HAVE A UL APPROVED TESTING NUMBER AND/OR GA FILE NUMBER FROM THE LATEST EDITION OF THE GA-6000 FIRE RESISTANCE DESIGN MANUAL.

35. THE FINAL LOCATIONS OF ALL VISIBLE DEVICES (OUTLETS, SWITCHES, THERMOSTATS, LIFE SAFETY DEVICES ETC.) SHALL BE COORDINATED WITH THE APPROPRIATE TRADES AND CONTRACTOR. FURNITURE, ARTWORK AND PICTURES SHOULD BE FACTORED INTO THE PLACEMENT OF THESE DEVICES. THE ARCHITECT AND THE OWNER SHALL REVIEW AND APPROVE ALL LOCATIONS PRIOR TO THE INSTALLATION OF VISIBLE DEVICES, EITHER BY FIELD CONFIRMATION OR REVIEW OF SHOP DRAWINGS.

36. THE CONTRACTOR SHALL MAINTAIN A CLEAN PROJECT SITE. ALL REFUSE SHALL BE REMOVED FROM THE SITE DAILY AND PRIOR TO FINAL COMPLETION. THE CONTRACTOR SHALL THOROUGHLY CLEAN THE PROJECT SITE INCLUDING ALL SURFACES.

37. PER FBC SECTION 403.4, CONTRACTOR SHALL PROVIDE AN EMERGENCY RESPONDER RADIO COVERAGE; INSTALL A BI-DIRECTIONAL AMPLIFICATION SYSTEM FOR THE FIRE DEPARTMENT RADIO AMPLIFICATION.

38. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT CONSTRUCTION ACTIVITY WILL BE PERFORMED IN A MANNER SO AS NOT TO ADVERSELY IMPACT THE CONDITION OF ANY ADJACENT PROPERTY (OR THE PUBLIC WAY), UNLESS SUCH ACTIVITY IS PERMITTED TO AFFECT SAID PROPERTY PURSUANT TO A CONSENT BY THE APPLICABLE PROPERTY OWNER, UNDER TERMS & CONDITIONS AGREEABLE TO THE APPLICABLE PROPERTY OWNER.

38. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EMPLOYING CONTROL MEASURES NECESSARY TO ENSURE THAT CONSTRUCTION RELATED MATERIALS, EQUIPMENT, AND DEBRIS SHALL NOT REMAIN LOOSE OR OTHERWISE UNSECURED ON THE CONSTRUCTION SITE, FROM 24 HOURS AFTER A HURRICANE WATCH HAS BEEN ISSUED UNTIL THE HURRICANE WATCH OR WARNING HAS BEEN LIFTED.

40. ALL MATERIALS USED DURING CONSTRUCTION SHALL BE NEW AND FREE FROM BLEMISHES. NO USED MATERIALS WILL BE ALLOWED, EXCEPT AS NOTED IN THE CONSTRUCTION DOCUMENTS. ALL MATERIAL AND SYSTEMS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SPECIFICATIONS.

41. UPON COMPLETION OF THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL DEVELOP A PUNCH LIST OF ITEMS THAT NEED TO BE COMPLETED, MODIFIED, CORRECTED OR REPLACED. THE CONTRACTOR SHALL ALSO INCLUDE A DOLLAR VALUE FOR ALL ITEMS NOT COMPLETED AT THE TIME OF THE PUNCH. UPON COMPLETION OF THE WORK, ITEMS IDENTIFIED IN THE CONTRACTOR'S PUNCH LIST, THE ARCHITECT WILL VISIT THE SITE TO REVIEW THE STATUS OF THE WORK. IF THE ARCHITECT DEEMS THE WORK SUBSTANTIALLY COMPLETE, THE ARCHITECT SHALL DEVELOP A PUNCH LIST OF MINOR WORK ITEMS TO ACCOMPANY THE CERTIFICATE OF SUBSTANTIAL COMPLETION.

42. THE CONTRACTOR SHALL DELIVER TO OWNER, PRIOR TO FINAL PAYMENT, ALL GUARANTIES, WARRANTIES AND TWO COPIES OF ALL MANUALS AND OPERATING INSTRUCTIONS AND ARRANGE TO GIVE PHYSICAL DEMONSTRATION OF ALL EQUIPMENT TO OWNER OR HIS REPRESENTATIVE. THE CONTRACTOR SHALL COORDINATE INSTRUCTION / TRAINING SCHEDULES WITH THE OWNER'S OPERATIONS PERSONNEL. ADJUST SCHEDULES AS REQUIRED TO MINIMIZE DISRUPTING THE OWNER'S OPERATIONS AND TO ENSURE AVAILABILITY OF THE OWNER'S PERSONNEL. COORDINATE THE CONTENT OF TRAINING MODULES WITH THE CONTENT OF APPROVED EMERGENCY, OPERATION, AND MAINTENANCE MANUALS. DO NOT SUBMIT INSTRUCTION / TRAINING PROGRAMS UNTIL THE OPERATION AND MAINTENANCE DATA HAS BEEN REVIEWED BY THE ARCHITECT.

43. ALL LABOR, MATERIALS AND INSTALLATIONS SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF ONE (1) YEAR FROM DATE OF SUBSTANTIAL COMPLETION, EXCEPT LONGER AS REQUIRED IN THE DRAWINGS AND/OR SPECIFICATIONS, AND AS REQUIRED BY FLORIDA STATUTE 718.

44. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY WORK THAT IS NOT IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE CORRECTION OF FAULTY WORKMANSHIP OR EQUIPMENT WITHIN THE WARRANTY PERIOD.

45. THE CONTRACTOR SHALL COORDINATE ALL MILLWORK WITH THE EQUIPMENT PLANS PRIOR TO FABRICATION OF MILLWORK. COORDINATE ALL ELECTRICAL, LOW VOLTAGE, GAS, PLUMBING AND ANY OTHER SERVICES OR DEVICE LOCATIONS WITH FIXTURE PLANS PRIOR TO ROUGHING IN THE EQUIPMENT.

46. THE FOLLOWING APPLIES TO ALL MILLWORK ITEMS AND REMAINS TYPICAL UNLESS OTHERWISE NOTED IN THE CONTRACT DOCUMENTS. ALL COUNTERTOP MATERIAL ITEMS SHALL HAVE FINISHED EDGES. ALL CABINET / DRAWER INTERIORS ARE TO BE FINISHED. ALL MILLWORK ITEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH PREMIUM GRADE STANDARDS AS ESTABLISHED BY THE ARCHITECTURAL WOODWORKING INSTITUTE. ALL MATERIAL, EQUIPMENT AND WORKMANSHIP SHOULD CONFORM TO INDUSTRY STANDARD PRACTICES, PROCEDURES, CONDITIONS AND RECOMMENDATIONS AS SPECIFIED BY ANSINEMA LD3-2005, SECTION DLPA (DECORATIVE LAMINATE PRODUCTS ASSOC.) AND ANSIBPVC 1612 STANDARDS. MILLWORK CONTRACTOR SHALL COMPLY WITH ALL JOB SITE BUILDING CODES AND REGULATIONS.

REV	DESCRIPTION	DATE
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CLIENT

**GULF BAY DEVELOPMENT**

8152 FIDDLERS CREEK PARKWAY, NAPLES, FL 34114

PROJECT

**SALES CENTER**

FIDDLERS CREEK  
NAPLES, FL

DRAWING NAME

**GENERAL INFORMATION**

**PERMIT SET 05.27.2025**

PROJECT NUMBER: 2103  
SHEET NUMBER:  
**A-0.20**  
PRINT DATE: 8/12/2025 5:04 PM



ADA ACCESSIBILITY NOTES

1. ACCESSIBILITY IS GOVERNED BY THE FLORIDA BUILDING CODE CHAPTER 11 AND THE FAIR HOUSING ACCESSIBILITY GUIDELINES. ALL PUBLIC SPACES SHALL BE 100% ACCESSIBLE PER FLORIDA BUILDING CODE. THE FOLLOWING NOTES ARE REQUIREMENTS OF THE FLORIDA BUILDING CODE 2017 STANDARDS AND ARE MADE A PART OF THE BUILDING LAWS OF THE STATE OF FLORIDA.

2. THE CLEAR WIDTH OF A PASSAGEWAY FOR A SINGLE WHEELCHAIR SHALL BE 32 INCHES FOR A PASSAGEWAY OF 24 INCHES OR LESS AND 36 INCHES FOR A PASSAGEWAY LONGER THAN 24 INCHES.

3. THE CLEAR FLOOR SPACE REQUIRED FOR A SINGLE WHEELCHAIR SHALL BE 30 INCHES BY 48 INCHES.

4. THE CLEAR WIDTH OF AN ACCESSIBLE ROUTE SHALL BE 36 INCHES.

5. HANDRAILS: THE TOP OF GRIPPING SURFACE OF HANDRAILS SHALL BE 34 INCHES MINIMUM AND 38 INCHES MAXIMUM VERTICALLY ABOVE THE START NOSING OR RAMP SURFACE. CLEAR SPACE BETWEEN HANDRAILS AND WALL SURFACE SHALL BE 2-1/4" MINIMUM.

6. PROTRUDING OBJECTS: OBJECTS WITH LEADING EDGES LOCATED MORE THAN 27 INCHES AND NOT MORE THAN 80 INCHES ABOVE THE FLOOR SHALL PROTRUDE NOT MORE THAN 4 INCHES FROM THE WALL.

7. GUARDRAILS OR OTHER BARRIERS SHALL BE PROVIDED WHEN VERTICAL CLEARANCE OF AN AREA ADJOINING AN ACCESSIBLE ROUTE IS LESS THAN 80 INCHES HIGH.

8. CHANGES IN LEVEL: A CHANGE IN LEVEL OF 1/4 INCH HIGH MAXIMUM SHALL BE PERMITTED TO BE VERTICAL AND WITHOUT TREAD TRIPMENT. A CHANGE IN LEVEL OF BETWEEN 1/4 INCH AND 1/2 INCH HIGH MAXIMUM SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2.

9. ACCESSIBLE PARKING SPACES SHALL BE 96 INCHES WIDE AND HAVE AN ADJACENT ACCESS AISLE OF NOT LESS THAN 60 INCHES MINIMUM. PASSENGER LOADING ZONES SHALL PROVIDE AN ACCESS AISLE 60 INCHES WIDE AND 20 FEET LONG MINIMUM ADJACENT TO THE VEHICLE PULL-UP SPACE AND AT THE SAME LEVEL AS THE ROADWAY.

10. RAMPS SHALL HAVE A SLOPE NOT STEEPER THAN 1:12. THE MAXIMUM RISE FOR ANY RAMP WITHOUT A LANDING IS 30 INCHES. THE RAMP SHALL HAVE A CLEAR WIDTH OF 36 INCHES. LANDING LENGTH SHALL BE A MINIMUM OF 60 INCHES.

11. DOOR CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO AN OPEN POSITION OF 12 DEGREES WILL BE 5 SECONDS MINIMUM.

12. DOOR OPENING FORCE WHERE CLOSERS ARE USED SHALL BE 5 POUNDS MAXIMUM.

13. THE BOTTOM 12 INCHES OF ALL DOORS EXCEPT AUTOMATIC DOORS SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPERATED BY WHEELCHAIR. FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.

14. DOORS MAY SWING INTO A TOILET ROOM IF THE ROOM IS FOR INDIVIDUAL USE ONLY OR A CLEAR FLOOR SPACE OF 30 INCHES BY 48 INCHES IS PROVIDED BEYOND THE ARC OF THE DOOR.

15. POWER ASSISTED DOORS: THE TIME REQUIRED FOR SUCH DOORS TO OPEN TO A BACK CHECK POSITION SHALL BE 2 SECONDS MINIMUM. THE FORCE REQUIRED TO STOP DOOR MOVEMENT SHALL BE 15 POUNDS MAXIMUM.

16. BATHROOM MEDICINE CABINETS SHALL BE LOCATED WITH A USABLE HEIGHT 44 INCH MAXIMUM. BATHROOM MIRRORS SHALL BE LOCATED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE 38 INCHES MAXIMUM ABOVE THE FLOOR.

17. WATER CLOSETS: THE TOP OF THE WATER CLOSET SEAT SHALL BE 17-19 INCHES ABOVE THE FLOOR.

18. RESTROOM LAVATORIES SHALL BE MOUNTED WITH THE RIM 34 INCHES MAXIMUM ABOVE THE FLOOR AND HAVE A CLEARANCE OF 29 INCHES MINIMUM FROM THE FLOOR TO THE BOTTOM OF THE FRONT EDGE OF THE APRON.

19. WATER SUPPLY AND DRAIN PIPES UNDER LAVATORIES AND SINKS WHICH ARE EXPOSED SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT.

20. GRAB BARS SHALL HAVE A DIAMETER OR WIDTH OF GRIPPING SURFACE FROM 1 1/4 TO 1 1/2 INCHES. THE CLEAR SPACE BETWEEN THE GRAB BAR SURFACE AND THE WALL SURFACE SHALL BE 1 1/2 INCHES MINIMUM.

21. STRUCTURAL STRENGTH: ALLOWABLE STRESSES IN BENDING, SHEAR AND TENSION SHALL NOT BE EXCEEDED FOR MATERIALS USED WHEN A VERTICAL OR HORIZONTAL FORCE OF 250 POUNDS IS APPLIED AT ANY POINT ON THE GRAB BAR, SEAT, FASTENER MOUNTING DEVICE OR SUPPORTING STRUCTURE.

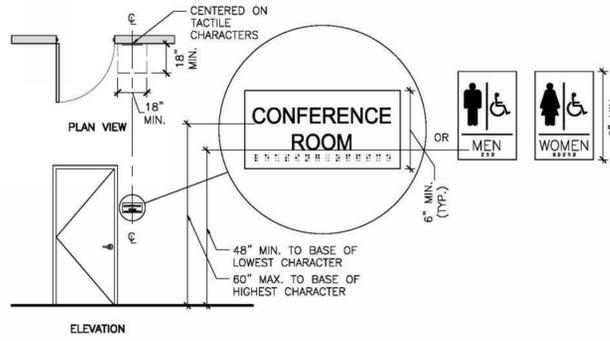
22. SIGNAGE: LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH-TO-HEIGHT RATIO BETWEEN 3:5 AND 1:1 AND A STROKE-TO-HEIGHT RATIO BETWEEN 1:5 AND 1:10. UTILIZING AN UPPER-CASE 'X' FOR MEASUREMENT.

23. GUARDRAILS AND HANDRAILS SHALL BE DESIGNED AND CONSTRUCTED TO WITHSTAND A LOAD OF 50 PLF APPLIED IN ANY DIRECTION AND A CONCENTRATED LOAD OF 200 LB APPLIED AT ANY POINT IN ANY DIRECTION. GUARDRAILS SHALL ALSO BE CONSTRUCTED TO WITHSTAND A NON-SIMULTANEOUS LOAD OF 100 PLF APPLIED VERTICALLY DOWNWARD AT THE TOP OF THE GUARDRAIL AND A 200 LB CONCENTRATED HORIZONTAL LOAD APPLIED ON A 150 FT AREA AT ANY POINT INCLUDING INTERMEDIATE RAILINGS. EACH LOAD SHALL BE APPLIED TO PRODUCE MAXIMUM STRESS IN EACH OF THE RESPECTIVE COMPONENTS OR ANY OF THE SUPPORTING COMPONENTS.

24. CONTRACTOR SHALL FLOAT RAMPS AT ALL ENTRANCES OF BUILDINGS FOR DIFFERENTIAL SETTLEMENT.

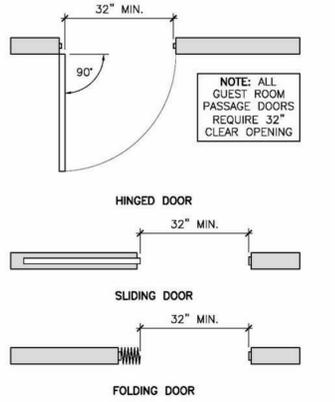
25. CONTRACTOR SHALL PROVIDE FLOAT RAMPS AT ALL ACCESS POINTS (ENTRANCES) FROM GARAGE, AT ALL EXPANSION JOINTS SYSTEMS AND ANY ADJACENT AREAS THAT HAS ANY DIFFERENTIAL BUILDING SETTLEMENT.

26. ALL ADA DIMENSIONS WILL BE MEASURED FROM FINISH MATERIAL TO FINISH MATERIAL DURING THE FINAL FIELD INSPECTION.



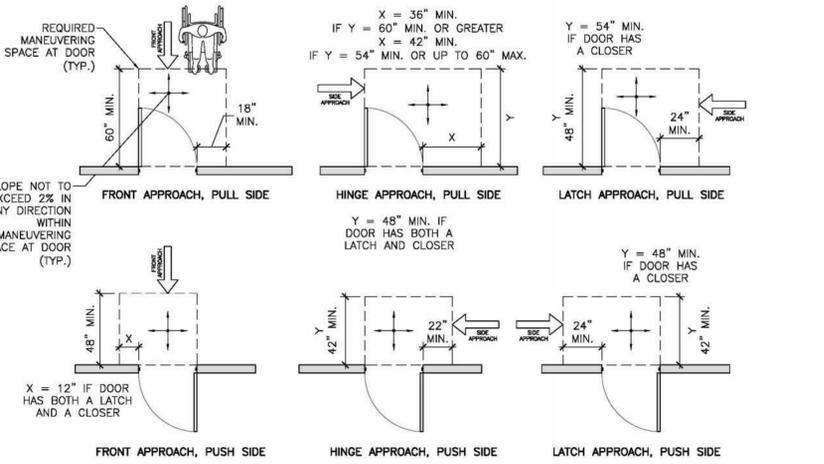
- NOTES:**
- CHARACTERS SHALL BE 48 INCHES MINIMUM AND 60 INCHES MAXIMUM ABOVE THE FLOOR OR GROUND SURFACE, MEASURED TO THE BASELINE OF THE CHARACTERS.
  - WHERE A SIGN CONTAINING TACTILE CHARACTERS IS PROVIDED AT A DOOR, THE SIGN SHALL BE ALONGSIDE THE DOOR ON THE LATCH SIDE. WHERE A TACTILE SIGN IS PROVIDED AT DOUBLE DOORS, THE SIGN SHALL BE TO THE RIGHT OF THE RIGHT-HAND DOOR. WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE OF A SINGLE DOOR, OR TO THE RIGHT SIDE OF DOUBLE DOORS, SIGNS SHALL BE ON THE NEAREST ADJACENT WALL. SIGNS CONTAINING TACTILE CHARACTERS SHALL HAVE AN 18" MIN. BY 18" MIN. SPACE ON THE FLOOR, CENTERED ON THE SIGN, BEYOND THE ARC OF ANY DOOR SWING BETWEEN THE CLOSED POSITION AND 45 DEGREE OPEN POSITION.
  - DOOR-MOUNTED SIGNS SHALL BE PERMITTED ON THE PUSH SIDE OF DOORS WITH CLOSERS AND WITHOUT HOLD-OPEN DEVICES.
  - REFER TO SECTION 703 OF THE 2010 ADA STANDARDS FOR REQUIREMENTS OF TACTILE CHARACTERS, VISUAL CHARACTERS, AND PICTOGRAMS.

1 ACCESSIBLE ROOM IDENTIFICATION SIGNAGE DETAIL 1/4" = 1'-0"



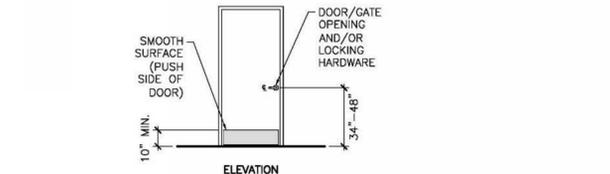
- NOTES:**
- OPENINGS MORE THAN 24" DEEP SHALL PROVIDE A CLEAR OPENING OF 36" MINIMUM.
  - THERE SHALL BE NO PROJECTIONS INTO THE REQUIRED CLEAR OPENING WIDTH LOWER THAN 34" ABOVE THE FINISH FLOOR OR GROUND. PROJECTIONS INTO THE CLEAR OPENING WIDTH BETWEEN 34" AND 80" ABOVE THE FINISH FLOOR OR GROUND SHALL NOT EXCEED 4".

2 CLEAR OPENING AT ACCESSIBLE DOORS/GATES DETAIL 1/2" = 1'-0"



- NOTES:**
- MANEUVERING CLEARANCES FOR FORWARD APPROACH SHALL BE PROVIDED WHEN ANY OBSTRUCTION WITHIN 18" OF THE LATCH SIDE OF A DOORWAY PROJECTS MORE THAN 8" BEYOND THE FACE OF THE DOOR, MEASURED PERPENDICULAR TO THE FACE OF THE DOOR OR GATE. REFER TO DETAIL 4/2.0.
  - THE FLOOR OR GROUND SURFACE WITHIN THE REQUIRED MANEUVERING CLEARANCES SHALL SLOPE NO MORE THAN 1:48 (2%) AND CHANGES IN LEVEL WITHIN THIS AREA ARE NOT PERMITTED.

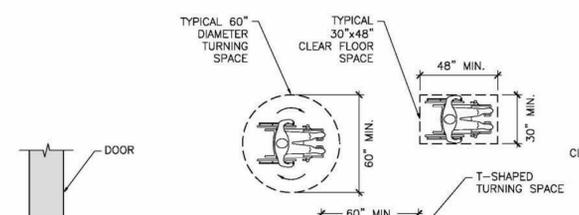
3 REQUIRED DOOR MANEUVERING CLEARANCES AT ACCESSIBLE DOORS/GATES 1/4" = 1'-0"



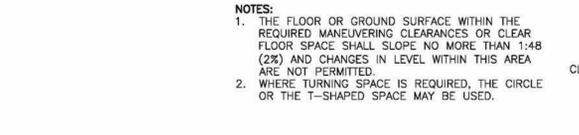
- NOTES:**
- SPACE UNDER AN ELEMENT BETWEEN THE FINISH FLOOR OR GROUND AND 9" ABOVE THE FINISH FLOOR OR GROUND SHALL BE CONSIDERED TOE CLEARANCE.
  - TOE CLEARANCE SHALL EXTEND 25" MAX. UNDER AN ELEMENT.
  - WHERE TOE CLEARANCE IS REQUIRED AT AN ELEMENT AS PART OF THE CLEAR FLOOR SPACE, THE TOE CLEARANCE SHALL EXTEND 17" MIN. UNDER THE ELEMENT.
  - TOE CLEARANCE SHALL BE 30" WIDE MINIMUM.

- NOTES:**
- HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRIP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE. SUCH HARDWARE SHALL BE 34 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE THE FLOOR OR GROUND. WHERE SLIDING DOORS ARE IN THE FULLY OPEN POSITION, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES.
  - DOOR CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO AN OPEN POSITION OF 12 DEGREES SHALL BE 5 SECONDS MINIMUM.
  - DOOR SPRING HINGES SHALL BE ADJUSTED SO THAT FROM THE OPEN POSITION OF 70 DEGREES, THE DOOR SHALL MOVE TO THE CLOSED POSITION IN 1.5 SECONDS MINIMUM, MEASURED UNDER AMBIENT CONDITIONS.
  - FIRE DOORS SHALL HAVE THE MINIMUM OPENING FORCE ALLOWED BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY. THE MAXIMUM FORCE FOR PUSHING OPEN OR PULLING OPEN DOORS OTHER THAN FIRE DOORS SHALL BE AS FOLLOWS:
    - INTERIOR HINGED DOOR: 5.0 POUNDS.
    - SLIDING OR FOLDING DOOR: 5.0 POUNDS.
 THESE FORCES DO NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISENGAGE OTHER DEVICES THAT HOLD THE DOOR IN A CLOSED POSITION.
  - DOOR SURFACES WITHIN 10 INCHES OF THE FLOOR OR GROUND MEASURED VERTICALLY SHALL BE A SMOOTH SURFACE ON THE PUSH SIDE, EXTENDING THE FULL WIDTH OF THE DOOR. PARTS CREATING HORIZONTAL OR VERTICAL JOINTS IN SUCH SURFACE SHALL BE WITHIN 1/16 INCH OF THE SAME PLANE AS THE OTHER. CAVITIES CREATED BY ADDED KICK PLATES SHALL BE CAPPED.

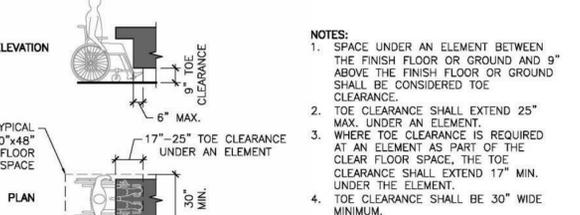
4 MANEUVERING CLEARANCE AT RECESSED DOORS DETAIL 1/4" = 1'-0"



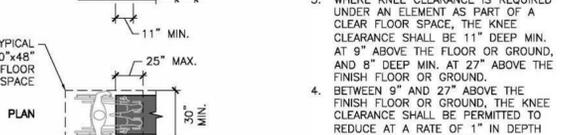
- NOTES:**
- THE FLOOR OR GROUND SURFACE WITHIN THE REQUIRED MANEUVERING CLEARANCES OR CLEAR FLOOR SPACE SHALL SLOPE NO MORE THAN 1:48 (2%) AND CHANGES IN LEVEL WITHIN THIS AREA ARE NOT PERMITTED.
  - WHERE TURNING SPACE IS REQUIRED, THE CIRCLE OR THE T-SHAPED SPACE MAY BE USED.



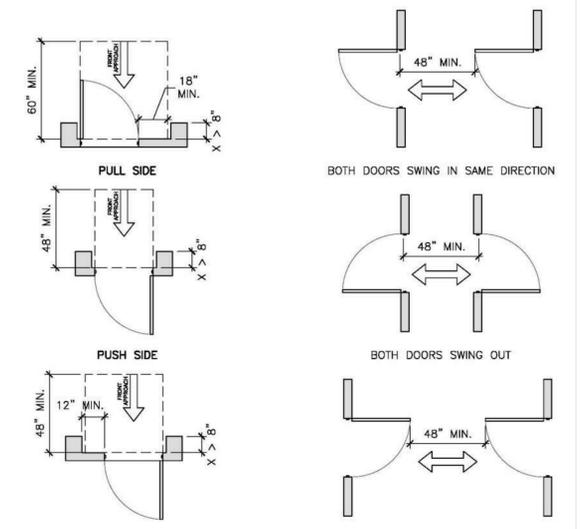
6 ACCESSIBLE DOOR & GATE HARDWARE DETAIL 1/4" = 1'-0"



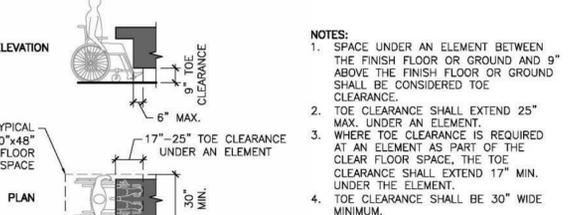
- NOTES:**
- THE FLOOR OR GROUND SURFACE WITHIN THE REQUIRED MANEUVERING CLEARANCES OR CLEAR FLOOR SPACE SHALL SLOPE NO MORE THAN 1:48 (2%) AND CHANGES IN LEVEL WITHIN THIS AREA ARE NOT PERMITTED.
  - WHERE TURNING SPACE IS REQUIRED, THE CIRCLE OR THE T-SHAPED SPACE MAY BE USED.



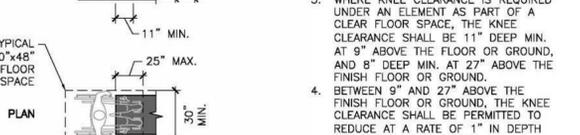
8 CLEAR FLOOR & TURNING SPACE 1/4" = 1'-0"



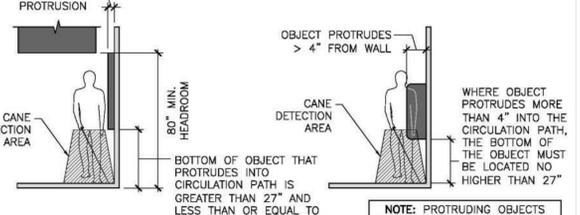
9 TOE CLEARANCE DETAIL 1/4" = 1'-0"



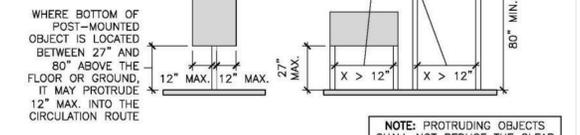
- NOTES:**
- WHERE A CLEAR FLOOR OR GROUND SPACE ALLOWS A PARALLEL APPROACH TO AN ELEMENT AND THE SIDE REACH IS UNOBSTRUCTED, THE HIGH SIDE REACH SHALL BE 48" MAX. AND THE LOW SIDE REACH SHALL BE 15" MIN. ABOVE THE FINISH FLOOR OR GROUND.
  - WHERE A CLEAR FLOOR OR GROUND SPACE ALLOWS A PARALLEL APPROACH TO AN ELEMENT AND THE HIGH SIDE REACH IS OVER AN OBSTRUCTION, THE HEIGHT OF THE OBSTRUCTION SHALL BE 34" MAX. AND THE DEPTH OF THE OBSTRUCTION SHALL BE 24" MAX. THE HIGH SIDE REACH SHALL BE 48" MAX. FOR A REACH DEPTH OF 10" MAX. WHERE THE REACH RANGE EXCEEDS 10", THE HIGH SIDE REACH SHALL BE 46" MAX. FOR A REACH DEPTH OF 24" MAX.



10 KNEE CLEARANCE DETAIL 1/4" = 1'-0"



- NOTES:**
- WHERE AN OBJECT IS MOUNTED BETWEEN TWO POSTS AND THE CLEAR DISTANCE BETWEEN POSTS IS GREATER THAN 12", THE LOWEST EDGE OF THE SIGN OR OBSTRUCTION SHALL BE 27" MAX. OR 80" MIN. ABOVE THE FLOOR OR GROUND.
  - WHERE BOTTOM OF POST-MOUNTED OBJECT IS LOCATED BETWEEN 27" AND 80" ABOVE THE FLOOR OR GROUND, IT MAY PROTRUDE 12" MAX. INTO THE CIRCULATION ROUTE.
  - NOTE: PROTRUDING OBJECTS SHALL NOT REDUCE THE CLEAR WIDTH FOR ACCESSIBLE ROUTES.



11 PROTRUDING OBJECTS DETAIL 1/4" = 1'-0"



- NOTES:**
- WHERE A FORWARD REACH IS UNOBSTRUCTED, THE HIGH FORWARD REACH SHALL BE 48" MAX. AND THE LOW FORWARD REACH SHALL BE 15" MIN. ABOVE THE FINISH FLOOR OR GROUND.
  - WHERE A HIGH FORWARD REACH IS OVER AN OBSTRUCTION, THE CLEAR FLOOR SPACE SHALL EXTEND BENEATH THE ELEMENT FOR A DISTANCE NOT LESS THAN THE REQUIRED REACH DEPTH OVER THE OBSTRUCTION. THE HIGH FORWARD REACH SHALL BE 48" MAX. WHERE THE REACH DEPTH EXCEEDS 20", THE HIGH FORWARD REACH SHALL BE 44" MAX. AND THE REACH DEPTH SHALL BE 25" MAX.



14 FORWARD REACH DETAIL 1/4" = 1'-0"



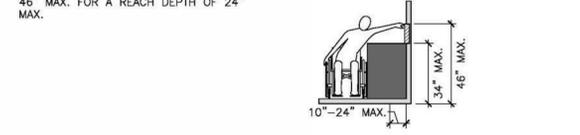
- NOTES:**
- WHERE A FORWARD REACH IS UNOBSTRUCTED, THE HIGH FORWARD REACH SHALL BE 48" MAX. AND THE LOW FORWARD REACH SHALL BE 15" MIN. ABOVE THE FINISH FLOOR OR GROUND.
  - WHERE A HIGH FORWARD REACH IS OVER AN OBSTRUCTION, THE CLEAR FLOOR SPACE SHALL EXTEND BENEATH THE ELEMENT FOR A DISTANCE NOT LESS THAN THE REQUIRED REACH DEPTH OVER THE OBSTRUCTION. THE HIGH FORWARD REACH SHALL BE 48" MAX. WHERE THE REACH DEPTH EXCEEDS 20", THE HIGH FORWARD REACH SHALL BE 44" MAX. AND THE REACH DEPTH SHALL BE 25" MAX.



15 SIDE REACH DETAIL 1/4" = 1'-0"



- NOTES:**
- WHERE A FORWARD REACH IS UNOBSTRUCTED, THE HIGH FORWARD REACH SHALL BE 48" MAX. AND THE LOW FORWARD REACH SHALL BE 15" MIN. ABOVE THE FINISH FLOOR OR GROUND.
  - WHERE A HIGH FORWARD REACH IS OVER AN OBSTRUCTION, THE CLEAR FLOOR SPACE SHALL EXTEND BENEATH THE ELEMENT FOR A DISTANCE NOT LESS THAN THE REQUIRED REACH DEPTH OVER THE OBSTRUCTION. THE HIGH FORWARD REACH SHALL BE 48" MAX. WHERE THE REACH DEPTH EXCEEDS 20", THE HIGH FORWARD REACH SHALL BE 44" MAX. AND THE REACH DEPTH SHALL BE 25" MAX.



16 UNOBSTRUCTED SIDE REACH 1/4" = 1'-0"



- NOTES:**
- WHERE A CLEAR FLOOR OR GROUND SPACE ALLOWS A PARALLEL APPROACH TO AN ELEMENT AND THE SIDE REACH IS UNOBSTRUCTED, THE HIGH SIDE REACH SHALL BE 48" MAX. AND THE LOW SIDE REACH SHALL BE 15" MIN. ABOVE THE FINISH FLOOR OR GROUND.
  - WHERE A CLEAR FLOOR OR GROUND SPACE ALLOWS A PARALLEL APPROACH TO AN ELEMENT AND THE HIGH SIDE REACH IS OVER AN OBSTRUCTION, THE HEIGHT OF THE OBSTRUCTION SHALL BE 34" MAX. AND THE DEPTH OF THE OBSTRUCTION SHALL BE 24" MAX. THE HIGH SIDE REACH SHALL BE 48" MAX. FOR A REACH DEPTH OF 10" MAX. WHERE THE REACH RANGE EXCEEDS 10", THE HIGH SIDE REACH SHALL BE 46" MAX. FOR A REACH DEPTH OF 24" MAX.



17 OBSTRUCTED HIGH SIDE REACH 1/4" = 1'-0"

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**GULF BAY DEVELOPMENT**  
 8152 FIDDLERS CREEK PARKWAY, NAPLES, FL 34114

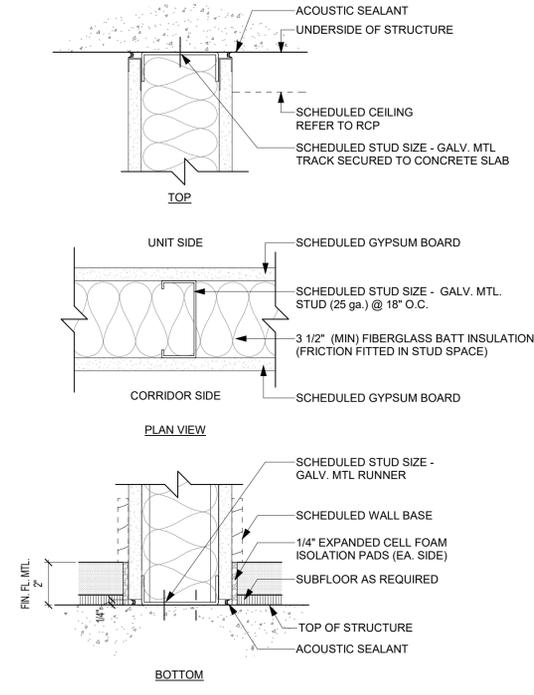
**SALES CENTER**  
 FIDDLERS CREEK NAPLES, FL

**ADA ACCESSIBILITY GUIDELINES**

**A-0.40**  
 PERMIT SET 05.27.2025

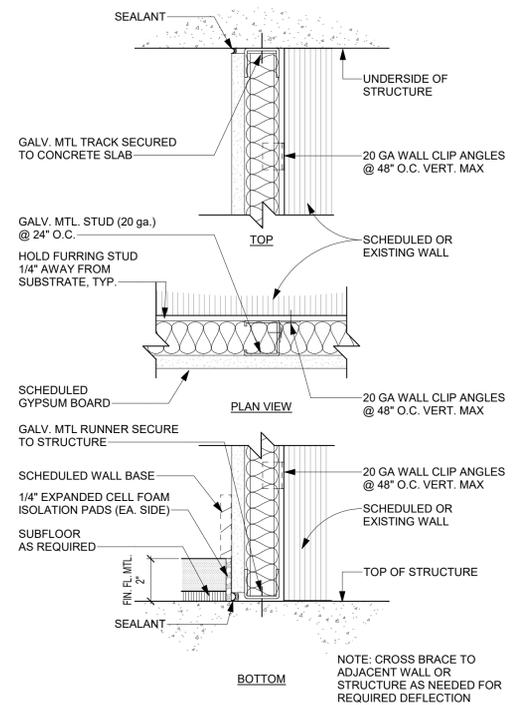
PROJECT NUMBER: 2103  
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 PRINT DATE: 5/20/25 5:00 PM





**UL ASSEMBLY:**  
 APPLY PANEL/BOARDS VERTICALLY WITH JOINTS CENTERED OVER STUDS. FASTENED TO STUDS WITH 1 IN. LONG, TYPE S, GYPSUM BOARD SCREWS SPACED 8 IN. OC AT THE JOINTS, LOCATED 3/8 IN. FROM THE EDGES, AND 12 IN. OC IN THE FIELD. FASTENERS TO BE SPACED 8 IN. OC AT THE RUNNERS

WALL TYPE (A) - TYP. INTERIOR PARTITION									
PARTITION TYPE	RATING (HRS)	MIN. STUD DEPTH	UL#	GA#	DESCRIPTION	GWB THK.	INSULATION	STC RATING	
A3-i	0	3-5/8"	N/A	N/A	1 GWB - 3 5/8" STUD - 1 GWB	5/8"	3 1/2" FIBERGLASS	-	
A6-i	0	6"	N/A	WP 1011	1 GWB - 6" STUD - 1 GWB	5/8"	6" FIBERGLASS	-	



NOTE: CROSS BRACE TO ADJACENT WALL OR STRUCTURE AS NEEDED FOR REQUIRED DEFLECTION

WALL TYPE (E) - TYP. EXTERIOR PARTITION									
PARTITION TYPE	RATING (HOURS)	MIN. STUD DEPTH	UL#	GA#	DESCRIPTION	GWB THK.	INSULATION	STC RATING	
E6-i	0	6"	N/A	N/A	1 GWB - 6" STUD - 3/4" 3 PART STUCCO	5/8"	6" FIBERGLASS	-	

WALL TYPE (F) - FURRING PARTITION (INTERIOR CONDITION)									
PARTITION TYPE	RATING (HRS)	MIN. STUD DEPTH	UL#	GA#	DESCRIPTION	GWB THK.	INSULATION	STC RATING	
F2-i	0	2 1/2"	N/A	N/A	GW B - 2 1/2" STUD+BATT INSULATION	5/8"	2 1/2" FIBERGLASS	-	
F3-i	0	3 5/8"	N/A	N/A	GW B - 3 5/8" STUD+BATT INSULATION	5/8"	3 1/2" FIBERGLASS	-	
F6-i	0	6"	N/A	N/A	GW B - 6" STUD+BATT INSULATION	5/8"	6" FIBERGLASS	-	

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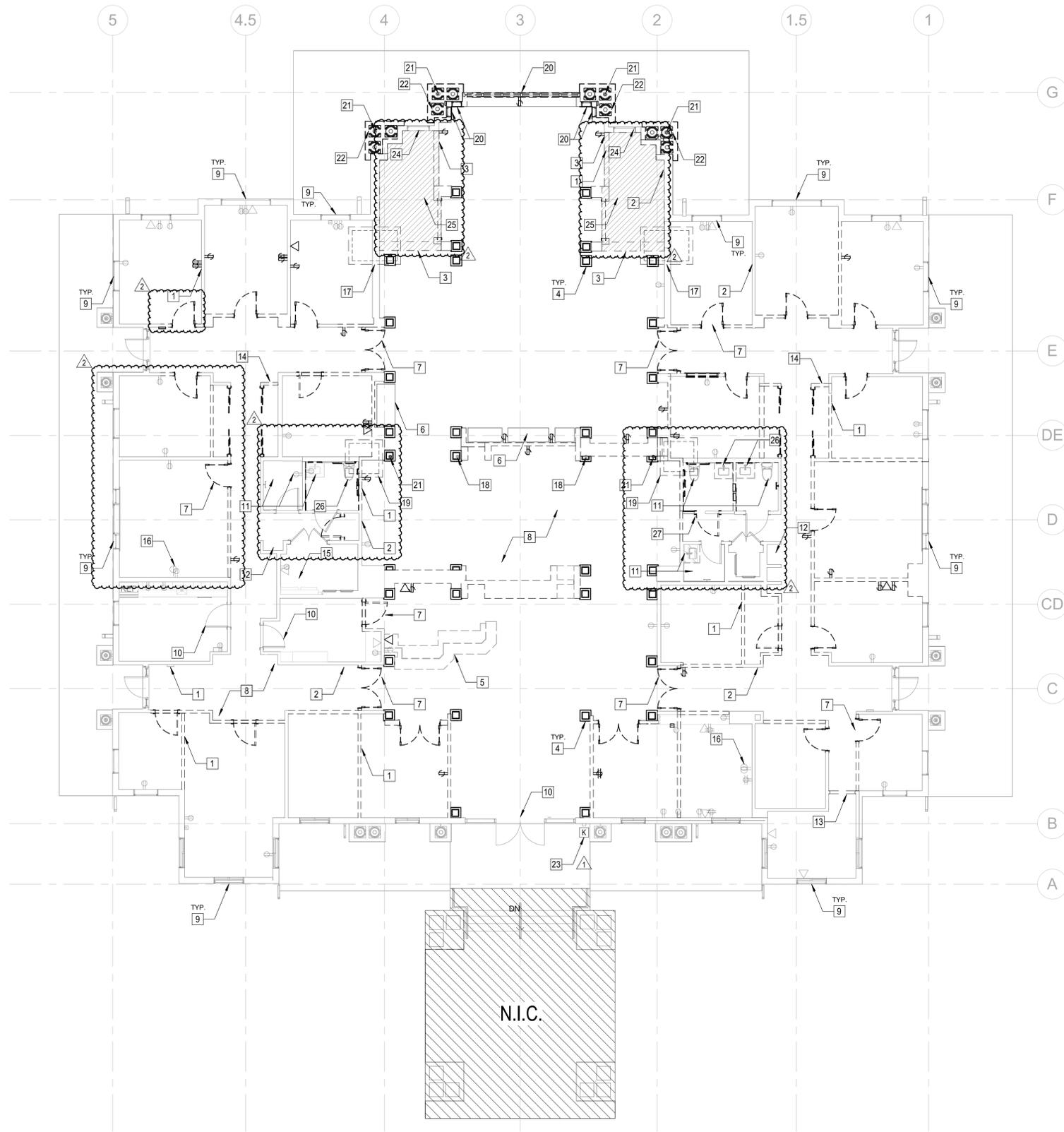
CLIENT  
**GULF BAY DEVELOPMENT**  
 8152 FIDDLER'S CREEK PARKWAY, NAPLES, FL 34114

PROJECT  
**SALES CENTER**  
 FIDDLER'S CREEK NAPLES, FL

DRAWING NAME  
**PARTITION TYPES**

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**GROUND FLOOR - DEMOLITION PLAN**

1/8" = 1'-0"

1  
AD-1.00

POWER LEGEND			
▲	DATA	TV	TV SIGNAL WALL OUTLET
⊕	DUPLEX OUTLET	⊠	FLOOR BOX
⊕	DOUBLE DUPLEX OUTLET	K	KNOX BOX
⊕	FIRE EXTINGUISHER	KP	

PLAN LEGEND	
---	STUD./GWB PARTITION TO BE REMOVED
---	EXISTING TO BE DEMOLISHED
---	EXISTING PARTITION/CMU WALL TO REMAIN

DEMO GENERAL NOTES
1. CONTRACTOR TO REVIEW NEW WORK PRIOR TO DEMOLITION AND TO NOTIFY ARCHITECT OF ANY DEVIATION(S) FROM DRAWINGS PROVIDED.
2. CONTRACTOR AND OWNER TO COORDINATE LIFE SAFETY EQUIPMENT/EGRESS DURING CONSTRUCTION.
3. CONTRACTOR TO PROVIDE WEATHER PROTECTION AT ALL EXTERIOR REMOVAL LOCATIONS AS REQUIRED.
4. COORDINATE WITH THE OWNER THE REMOVAL AND PROTECTION OF ALL EXISTING TVs, SALES DESIGN MATERIALS, OTHER MISC. EQUIPMENT & FURNITURE AS NEEDED.
5. EXISTING SLAB ON GRADE TO REMAIN UNLESS OTHERWISE NOTED.

DEMO KEY NOTES
1 DEMO EXISTING GWB PARTITION(S) AND ALL CORRESPONDING ELECTRICAL & LOW VOLTAGE RECEPTACLES/OUTLETS/CONDUITS AS INDICATED BY DASHED LINES.
2 PATCH AND REPAIR EXISTING WALLS AND CREATE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WALLS. PLASTER LEVEL OF FINISH TO MEET REQUIREMENT IN PARTITION NOTES PER SCHEDULED WALL FINISH.
3 SUPPORT EXISTING STRUCTURE DURING THE REMOVAL OF LOAD BEARING WALL.
4 ALL DECORATIVE INTERIOR COLUMNS AND PEDESTALS TO BE REMOVED (TYP.).
5 EXISTING RECEPTION DESK TO BE DEMOLISHED.
6 NOT USED.
7 EXISTING DOORS AND CORRESPONDING HARDWARE TO BE REMOVED.
8 REMOVE ALL CARPET FLOORING, INTERIOR SADDLES & WALL BASE THROUGHOUT PREMISES.
9 EXISTING WINDOWS TO REMAIN. PROTECT DURING CONSTRUCTION.
10 EXISTING DOORS TO REMAIN. PROTECT DURING CONSTRUCTION.
11 PLUMBING LOCATIONS TO REMAIN; NEW FIXTURES TO BE INSTALLED (TYP.).
12 EXISTING WATER FOUNTAIN TO REMAIN.
13 DEMO OPENING FOR NEW DOOR. REINFORCE AND REPAIR OPENING AS REQUIRED.
14 EXISTING MILLWORK, CLOSET & APPLIANCES TO BE DEMOLISHED.
15 EXISTING HVAC EQUIPMENT TO BE REPLACED. REFER TO MECHANICAL.
16 EXISTING ELECTRICAL AND WALL DEVICES TO REMAIN.
17 PORTION OF SLAB TO BE DEMOLISHED IN PREPARATION FOR NEW EPOXY TIE COLUMN. REFER TO STRUCTURAL.
18 EXISTING STEEL COLUMN TO REMAIN.
19 EXISTING PORTION OF SLAB TO BE DEMOLISHED IN ORDER TO ADD STRUCTURE TO EXISTING FOUNDATION.
20 REAR EXTERIOR WINDOWS AND WALLS TO BE DEMOLISHED.
21 EXISTING STEEL COLUMN TO BE DEMOLISHED. CONFIRM SHORING WITH STRUCTURAL.
22 DECORATIVE EXTERIOR COLUMNS AND PEDESTALS TO BE REMOVED.
23 EXISTING KNOX BOX TO REMAIN.
24 KEEP EXISTING WINDOW, RAISE SILL HEIGHT.
25 EXISTING PAVERS TO BE REMOVED.
26 PLUMBING FIXTURES TO BE DEMOLISHED AND RELOCATED.
27 EXISTING DOORS AND CORRESPONDING HARDWARE TO BE REMOVED AND SAVED FOR RELOCATION.

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PROJECT NUMBER: 2103

SHEET NUMBER:

**AD-1.00**

PRINT DATE: 8/12/2025 5:02:07 PM

DRAWING NAME

**GROUND FLOOR - DEMOLITION PLAN**

PROJECT

**SALES CENTER**

FIDDLERS CREEK  
NAPLES, FL

CLIENT

**GULF BAY DEVELOPMENT**

8152 FIDDLERS CREEK  
PARKWAY, NAPLES, FL  
34114

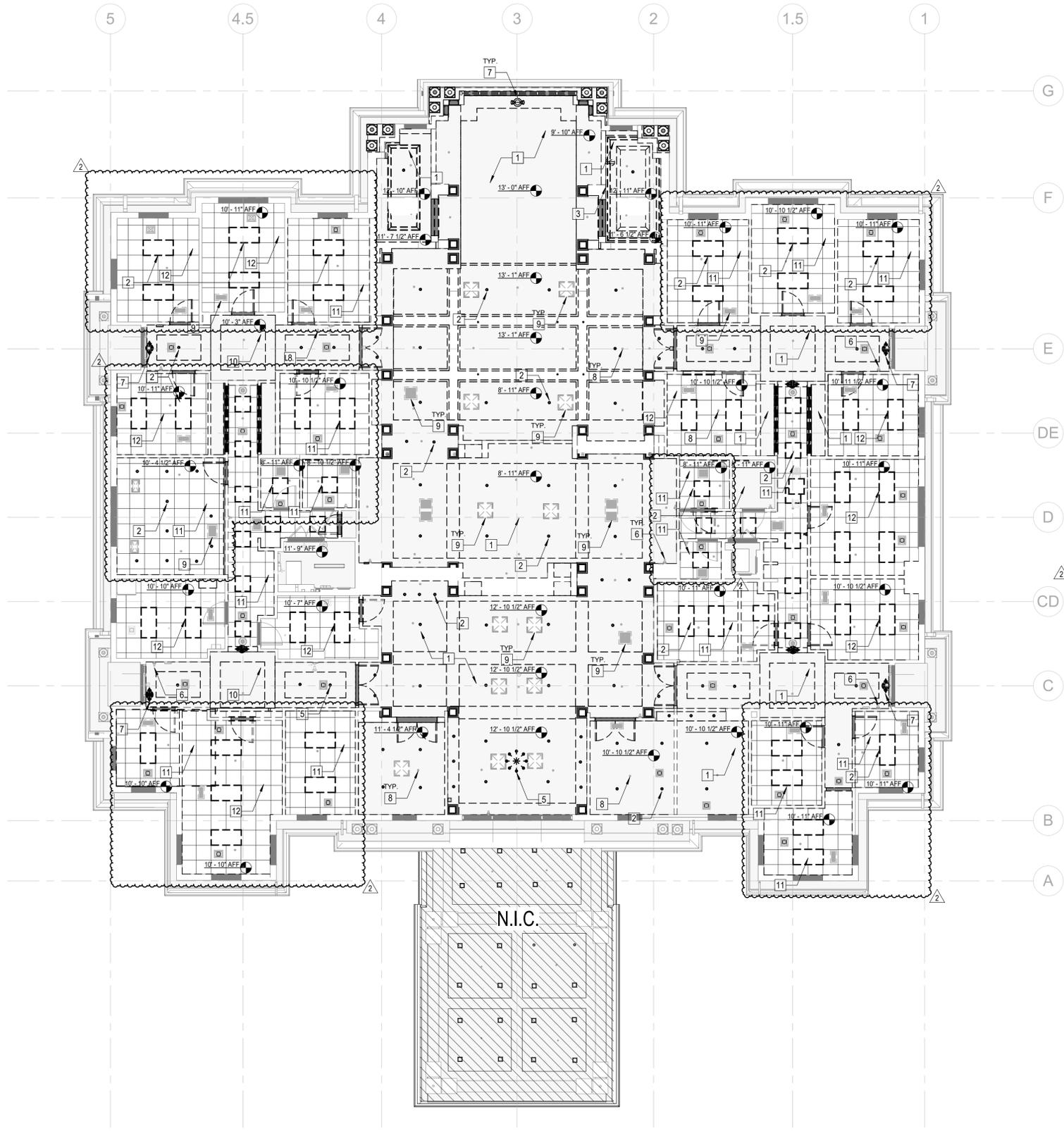
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1	REVISION 1 / SUBMITTAL 2	07.03.2025
2	REVISION 2 / SUBMITTAL 3	08.01.2025



**PLAN LEGEND**

---	STUD/GWB PARTITION TO BE REMOVED	---	EXISTING TO BE DEMOLISHED
---	EXISTING PARTITION/CMU WALL TO REMAIN		
□	EXISTING ACOUSTICAL TILE CEILING TO BE REMOVED	□	EXISTING GYPSUM BOARD CEILING TO BE REMOVED

**DEMOLITION GENERAL NOTES**

- CONTRACTOR TO REVIEW NEW WORK PRIOR TO DEMOLITION AND TO NOTIFY ARCHITECT OF ANY DEVIATION(S) FROM DRAWINGS PROVIDED.
- CONTRACTOR TO PROVIDE SHORING AS REQUIRED. COORDINATE REMOVALS OF ALL STRUCTURE WITH STRUCTURAL ENGINEER.
- CONTRACTOR AND OWNER TO COORDINATE LIFE SAFETY EQUIPMENT/EGRESS DURING CONSTRUCTION.
- CONTRACTOR TO PROVIDE WEATHER PROTECTION AT ALL EXTERIOR REMOVAL LOCATIONS AS REQUIRED.

**DEMOLITION KEY NOTES**

- EXISTING GYPSUM BOARD CEILING TO BE REMOVED.
- ALL CEILING MOUNTED LIGHT FIXTURES TO BE REMOVED.
- ALL EXISTING CEILINGS/SOFFITS SHOWN IN DASHED LINES TO BE REMOVED, INCLUDING CEILING MOUNTED FIXTURES. COORDINATE REMOVAL OF BUILDINGS SYSTEMS WITH ENGINEERING DRAWINGS.
- EXISTING DECORATIVE CEILING ELEMENT AND CORRESPONDING TRACK LIGHTS TO BE DEMOLISHED.
- CHANDELIER TO BE REMOVED.
- EXISTING FIRE STROBES TO BE REMOVED AND SAVED FOR RELOCATION.
- EXISTING SMOKE BATTERY BACKUP EMERGENCY LIGHTS TO BE REMOVED.
- ALL EXISTING SPRINKLER HEADS TO BE ACTIVE DURING THE CONSTRUCTION PHASE TO COMPLY WITH LIFE SAFETY REQUIREMENTS.
- EXISTING HVAC DIFFUSER SUPPLY AND RETURN GRILLES TO BE REMOVED AND DISCARDED.
- EXISTING GYP BD CEILING TO REMAIN.
- EXISTING ACOUSTICAL CEILING TILE & GRID TO BE REMOVED.
- EXISTING ACT GRID TO REMAIN. CEILING TILES TO BE REPLACED WITH NEW. EXISTING LED LIGHTING FIXTURES TO BE REMOVED AND REPLACED WITH NEW.

**GROUND FLOOR - DEMOLITION REFLECTED CEILING PLAN**

1/8" = 1'-0"

1  
AD-1.01

PERMIT SET 05.27.2025

PROJECT NUMBER: 2103

SHEET NUMBER:  
**AD-1.01**

DRAWING NAME  
**GROUND FLOOR - DEMOLITION REFLECTED CEILING PLAN**

PROJECT  
**SALES CENTER**

CLIENT  
**GULF BAY DEVELOPMENT**  
8152 FIDDLER'S CREEK PARKWAY, NAPLES, FL 34114

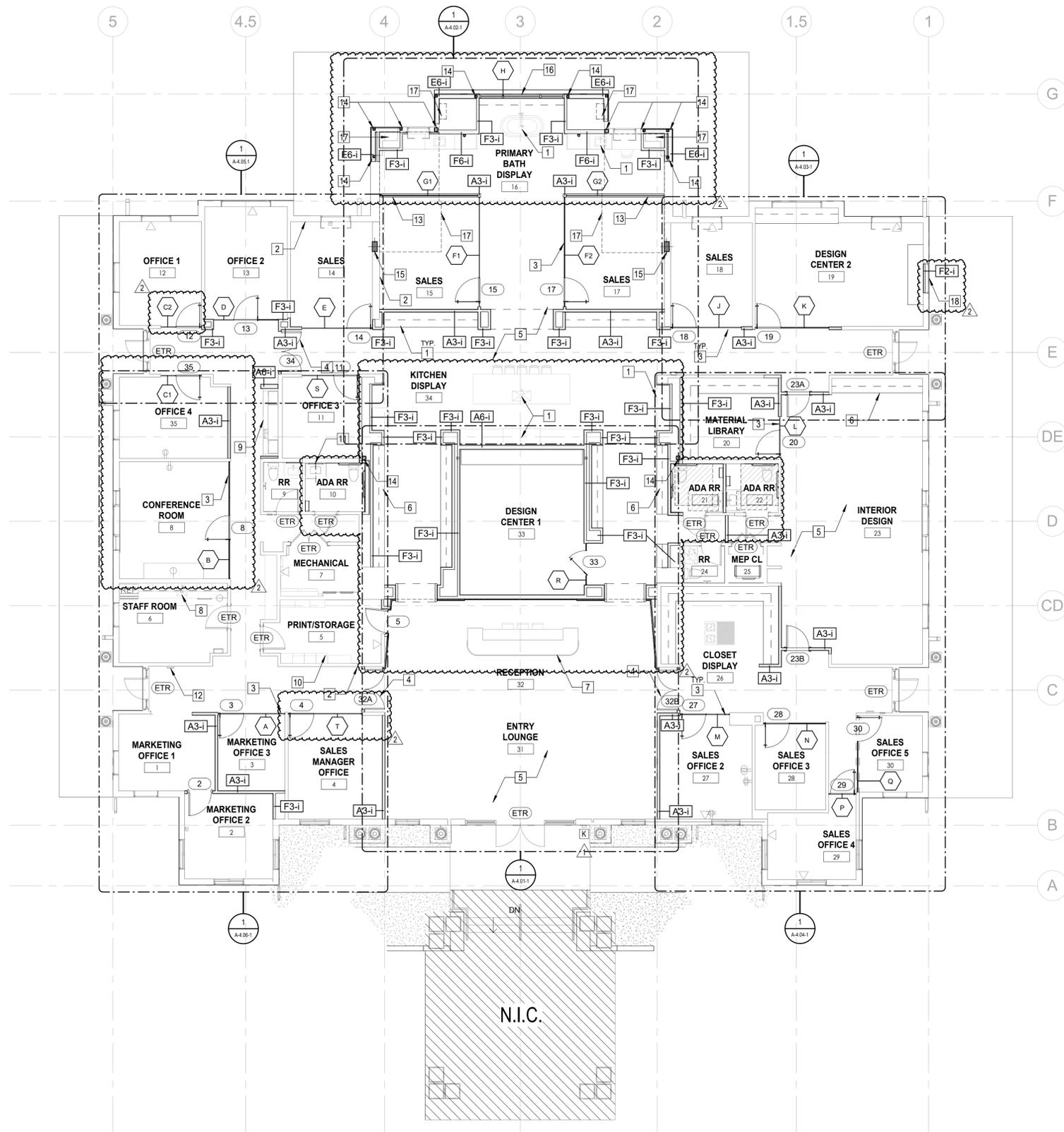
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**garcia stromberg**

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PLAN LEGEND	
	EXISTING PARTITION/WALL TO REMAIN
	NEW STUD/GWB PARTITION
	HEADER OR PLANE ABOVE

CONTROL PLAN GENERAL NOTES	
1.	REFER TO SHEET A-0.00 FOR DRAWINGS ANNOTATION SYMBOL INFORMATION.
2.	NO CHANGE TO THE SITE, USE OF THE BUILDING & EGRESS EXITS.
3.	ALL DRIVER LOCATIONS SHALL BE REVIEWED BY THE INTERIOR AND LIGHTING DESIGNER, ARCHITECT & ELECTRICAL ENGINEER.
4.	FOR NEW MEP DEVICES REFER TO MEP PLANS.

CONTROL PLAN KEY NOTES	
1	NEW APPLIANCES AND PLUMBING FIXTURES AT KITCHEN DISPLAY AND PRIMARY BATH DISPLAY TO BE FOR DISPLAY ONLY AND SHALL NOT BE OPERATIONAL, INCLUDING KITCHEN SINK, BATHROOM SINK, BATHTUB, RANGE/OVEN, REFRIGERATORS & MICROWAVE (TYP.).
2	EXISTING WALLS TO RECEIVE NEW PAINT AND/OR WALL COVERING (TYP.).
3	NEW GLASS PARTITION AND DOOR. SPEC TBD (TYP.).
4	NEW GLASS DOUBLE DOORS.
5	NEW FLOORING THROUGHOUT PREMISES.
6	PROVIDE REINFORCING AT ALL NEW MILLWORK, WALL OR CEILING MOUNTED EQUIPMENT AS REQUIRED.
7	NEW ADA-COMPLIANT FRONT DESK.
8	NEW SINK AT EXISTING BREAK ROOM MILLWORK.
9	NEW ADA-COMPLIANT WET BAR WITH NEW MILLWORK, SINK & APPLIANCES.
10	EXISTING MILLWORK TO REMAIN.
11	EXISTING PLUMBING TO BE COORDINATED WITH FURRED OUT WALL. RELOCATE WALL DEVICES AS NEEDED.
12	EXISTING FEC TO REMAIN.
13	NEW KNEE WALL AT 3'.
14	NEW HSS COLUMN. REFER TO STRUCTURAL.
15	NEW TIE COLUMN. REFER TO STRUCTURAL.
16	NEW FLOOR-TO-CEILING EXTERIOR WINDOW. REFER TO STRUCTURAL.
17	CONCRETE TOPPING SLAB TO MATCH EXISTING SLAB ELEVATION W/ 4' X 4' W 4' X W 4' WIRE MESH. REFER TO STRUCTURAL.
18	FILM TO BE ADDED TO THE INSIDE OF EXISTING WINDOW TO CREATE FROSTED GLASS LOOK ON THE OUTSIDE. INTERIOR SIDE OF WINDOW TO BE COVERED BY DRYWALL, LOUVERS TO BE ADDED FOR VENTILATION.

**GROUND FLOOR PLAN**  
1/8" = 1'-0"  
1  
A-1.00-1

REV	DESCRIPTION	DATE
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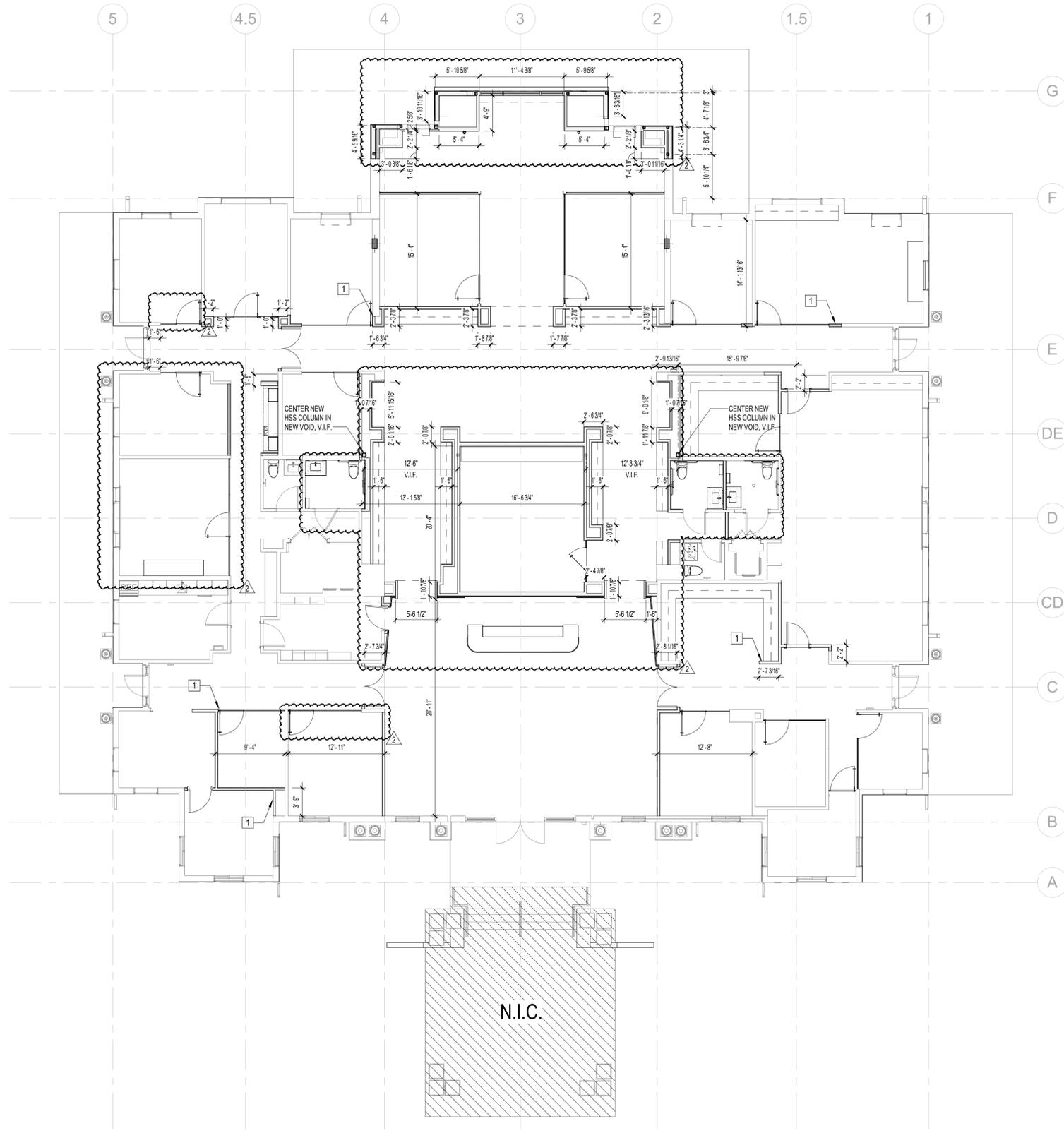
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CLIENT  
**GULF BAY DEVELOPMENT**  
 8152 FIDDLER'S CREEK PARKWAY, NAPLES, FL 34114

PROJECT  
**SALES CENTER**  
 FIDDLER'S CREEK  
 NAPLES, FL

DRAWING NAME  
**GROUND FLOOR PLAN**  
**A-1.00-1**  
 PROJECT NUMBER: 2103  
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PLAN LEGEND	
	EXISTING PARTITION/CMU WALL TO REMAIN
	HEADER OR PLANE ABOVE
	NEW STUD/GWB PARTITION

DIMENSION PLAN GENERAL NOTES	
1.	REFER TO SHEET A-0.00 FOR DRAWINGS ANNOTATION SYMBOL INFORMATION.
2.	NO CHANGE TO THE SITE, USE OF THE BUILDING & EGRESS EXITS.
3.	DIMENSIONS ARE FROM OUTSIDE OF STUD TO OUTSIDE OF STUD.

CONTROL PLAN KEY NOTES	
1	ALIGN NEW WALLS TO EXISTING WALL FACE (TYP.)

**GROUND FLOOR - DIMENSION PLAN**  
 1/8" = 1'-0"  
 1  
 A-1.00-2

PERMIT SET 05.27.2025

PROJECT NUMBER: 2103  
 SHEET NUMBER:  
 DRAWING NAME

**GROUND FLOOR - DIMENSION PLAN**

**A-1.00-2**

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**SALES CENTER**

FIDDLER'S CREEK  
 NAPLES, FL

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**GULF BAY DEVELOPMENT**

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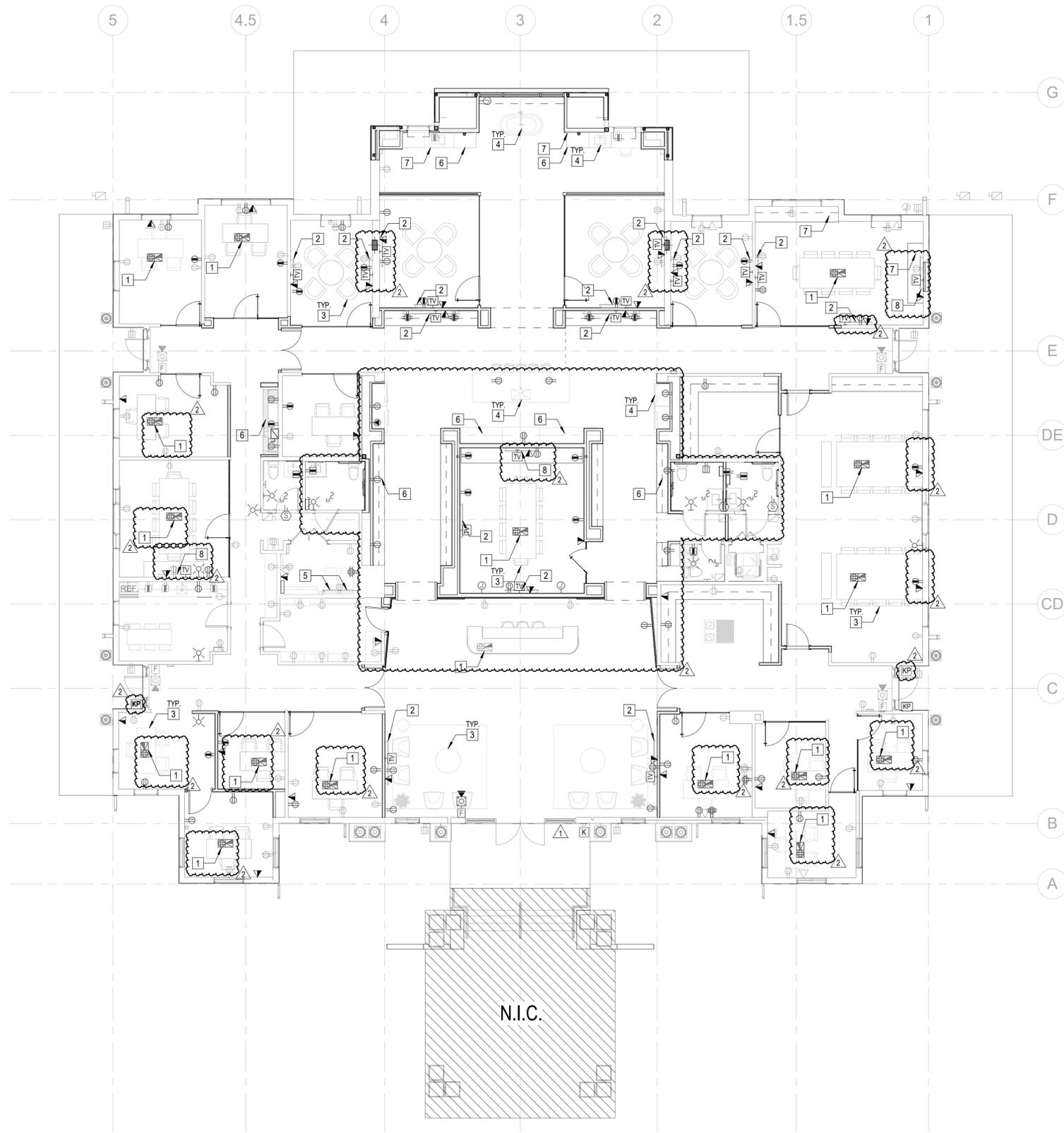
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**GROUND FLOOR - FURNITURE & POWER PLAN**

1/8" = 1'-0"

1  
A-1.00-3

POWER LEGEND			
▲	DATA	TV	TV SIGNAL WALL OUTLET
⊕	DUPLEX OUTLET	⊕	FLOOR BOX
⊕	DOUBLE DUPLEX OUTLET	K	KNOX BOX
⊕	FIRE EXTINGUISHER	KP	KEYPAD

PLAN LEGEND			
—	EXISTING PARTITION/CMU WALL TO REMAIN	—	NEW STUD/GWB PARTITION
- - -	HEADER OR PLANE ABOVE		

**FURNITURE & POWER PLAN GENERAL NOTES**

- REFER TO SHEET A-0.00 FOR DRAWINGS ANNOTATION SYMBOL INFORMATION.
- NO CHANGE TO THE SITE, USE OF THE BUILDING & EGRESS EXITS.
- ALL DRIVER LOCATIONS SHALL BE REVIEWED BY THE INTERIOR AND LIGHTING DESIGNER, ARCHITECT & ELECTRICAL ENGINEER.
- FOR NEW MEP DEVICES REFER TO MEP PLANS.
- FINAL FLOOR BOX LOCATIONS TO BE CONFIRMED BY INTERIOR DESIGNER.

**FURNITURE & POWER PLAN KEY NOTES**

- NEW FLOOR BOX WITH RECEPTACLES AND TECHNOLOGY DEVICES. REFER TO ELECTRICAL.
- NEW FLAT PANEL TV WITH WALL BRACKET SUPPLIED BY OWNER AND INSTALLED BY GC. PROVIDE BACKING IN WALL CAVITY.
- ALL FURNITURE BY OWNER (TYP.).
- NEW APPLIANCES AND PLUMBING FIXTURES AT KITCHEN DISPLAY AND MASTER BATH DISPLAY TO BE FOR DISPLAY ONLY AND SHALL NOT BE OPERATIONAL, INCLUDING KITCHEN SINK, BATHROOM SINK, BATHTUB, RANGE/OVEN, REFRIGERATORS & MICROWAVE (TYP.).
- EXISTING ELECTRICAL PANEL TO REMAIN. REFER TO ENGINEERING.
- CONTINUOUS UNDERCABINET OR UNDERCOUNTER LED LIGHT IN THIS LOCATION. REFER TO ELECTRICAL.
- PROVIDE BLOCKING AT FLOATING VANITIES/CRENZAS.
- NEW YAEINK TEAMS / ZOOM MEETING BOARD WITH WALL BRACKET SUPPLIED BY OWNER AND INSTALLED BY GC. PROVIDE BACKING IN WALL CAVITY.

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PROJECT NUMBER: 2103

SHEET NUMBER:

**A-1.00-3**

PRINT DATE: 8/12/2025 5:05:11 PM

DRAWING NAME

**GROUND FLOOR - FURNITURE & POWER PLAN**

PROJECT

**SALES CENTER**

FIDDLERS CREEK  
NAPLES, FL

CLIENT

**GULF BAY DEVELOPMENT**  
8152 FIDDLERS CREEK  
PARKWAY, NAPLES, FL  
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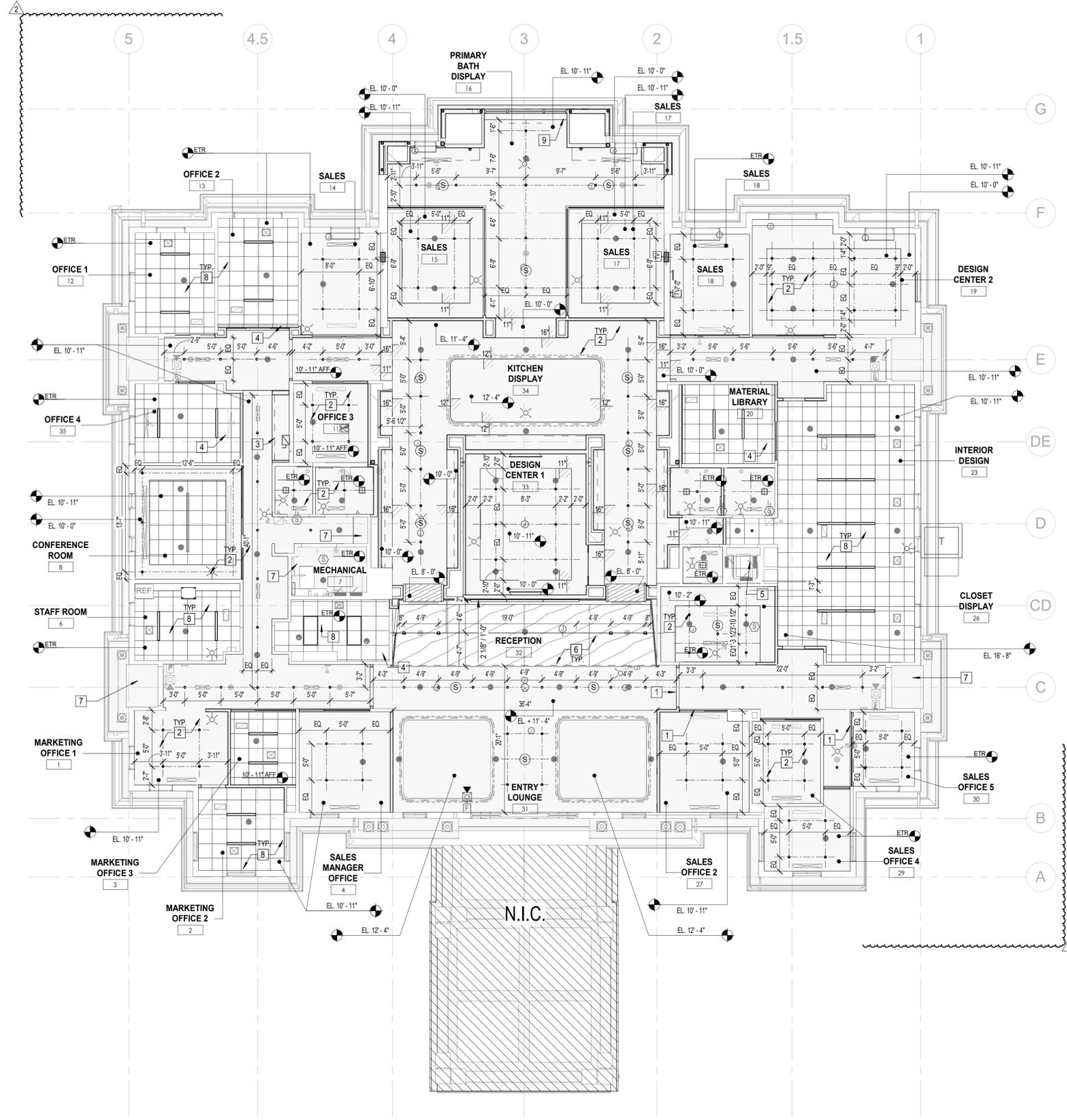
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**garcia stromberg**

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**GROUND FLOOR - REFLECTED CEILING PLAN**  
 1/8" = 1'-0" 1 A-1.00-4

RCP LEGEND			
○	RECESSED DOWNLIGHT	●	SPRINKLER HEAD
- - -	LED LIGHT STRIP	⊗	CEILING-MOUNTED STROBE
—	LINEAR DIRECT VIEW LED	⊗	WALL-MOUNTED STROBE
□	2' X 4' LED LIGHT	⊗	CEILING-MOUNTED SPEAKER
⊗	SECURITY CAMERA	⊗	RETURN DIFFUSER
—	EXISTING CEILING HEIGHT TO REMAIN	⊗	SUPPLY DIFFUSER
		EL. 10'-0"	CEILING HEIGHT FROM EXISTING FINISHED FLOOR

PLAN LEGEND			
—	EXISTING PARTITION/CMU WALL TO REMAIN	—	NEW STUD/GWB PARTITION
□	ACOUSTICAL TILE CEILING	□	GYP/SUM BOARD CEILING
□	WOOD PLANK CEILING		

**CEILING PLAN GENERAL NOTES**

- GENERAL CONTRACTOR (GC) HAS SOLE RESPONSIBILITY TO COORDINATE MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING AND FIRE PROTECTION INSTALLATIONS. LIGHT FIXTURE PLACEMENT TAKES PRECEDENCE OVER ALL OTHER TRADES. GC WILL ALSO BE REQUIRED TO PROPERLY SCHEDULE THE WORK OF ANY TELECOM, SECURITY / AUDIO VISUAL WORK. GC TO FOLLOW ARCHITECTURAL LAYOUT OF PROPOSED DEVICES ON CEILINGS AND WALLS. NOTIFY THE ARCHITECT OF ANY POTENTIAL DISCREPANCIES PRIOR TO RELEASE AND INSTALL.
- GC TO COORDINATE LIGHT FIXTURE DEPTH AND PLACEMENT WITH ALL OTHER ABOVE CEILING WORK. PRIOR TO ORDERING OF LIGHT FIXTURES AND FINALIZING ABOVE CEILING BUILDING SYSTEM SHOP DRAWINGS.
- CEILING SUPPORT SYSTEMS ARE NOT DESIGNED OR INTENDED TO SUPPORT THE WEIGHT OF ADDITIONAL EQUIPMENT, CABLES, CONDUITS, MECHANICAL EQUIPMENT OR ANY OTHER ITEMS. ALL SUCH ELEMENTS ARE TO BE INDEPENDENTLY SUPPORTED FROM THE BUILDING STRUCTURE BY AT LEAST TWO (2) OPPOSITE CORNERS.
- DO NOT SUBSTITUTE MATERIALS, EQUIPMENT, OR METHODS UNLESS SUCH SUBSTITUTIONS HAVE BEEN SPECIFICALLY APPROVED FOR THIS PROJECT BY THE ARCHITECT OR ENGINEER.
- COORDINATE WITH RCP FOR MOUNTING HEIGHTS WHERE APPLICABLE.
- SWITCHING PLAN AND LIGHTING CONTROLS TO BE CONFIRMED BY OWNER AND THEIR LOW VOLTAGE CONSULTANTS, MISC, ETC.
- REFER TO AND COORDINATE WITH ELECTRICAL ENGINEERS SPECIFICATIONS, SCHEDULES AND DRAWINGS.
- ALL FINISH CEILING HEIGHTS TO BE INSTALLED AS INDICATED ON DRAWINGS. ANY CHANGES TO FINISH HEIGHTS SHALL BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION AND REVIEWED IN BUILDING SYSTEM SHOP DRAWINGS PRIOR TO RELEASE.
- GC SHALL INSTALL AND COORDINATE ALL REQUIRED ACCESS PANELS TO ACCESS EQUIPMENT, VALVES, SWITCHES OR OPERABLE DEVICES, AS WELL AS FILTERS, DAMPERS AND ETC. BASIS OF DESIGN - BAUCO +2.
- ALL SPRINKLER HEADS SHALL BE CENTERED WITHIN THE CEILING TILE UNLESS NOTED OR SPECIFIED OTHERWISE ALL SPRINKLER HEADS SHALL BE CONCEALED POP DOWN TYPE U.O.N.
- THE ARCHITECTURAL RCP SHALL BE USED TO LOCATE ALL DIFFUSERS AND RETURN GRILLES HOWEVER LOCATIONS MUST BE VERIFIED & COORDINATED WITH DUCTWORK ABOVE CEILINGS - REFER TO MECHANICAL DRAWINGS.
- ONE (1) LIGHT FIXTURE IN EACH SPACE TO BE TIED TO EMERGENCY POWER. ALL EXIT SIGNS SHALL BE ON EMERGENCY POWER. REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION. EGRESS ROUTES MUST MEET CODE REQUIRED EGRESS LIGHTING.
- REFER TO ELECTRICAL DRAWINGS FOR CIRCUITING & SWITCHING INFORMATION.
- FINAL SPRINKLER HEAD DESIGN TO BE PROVIDED AS A SHOP DRAWING BY A FIRE SPRINKLER SUBCONTRACTOR. SPRINKLERS AND FIRE ALARMS TO BE UNDER A SEPARATE PERMIT.
- ANY EXISTING TO REMAIN EXIT SIGNS SHALL BE REPLACED AS REQUIRED TO MEET CURRENT BUILDING CODE REQUIREMENTS. CONTRACTOR TO REVIEW AND PROVIDE REPORT TO OWNER FOR REVIEW AND RECOMMENDED REPLACEMENT.
- COST FOR FIRE ALARM ALTERATIONS IS LESS THAN \$5,000.00.

**CEILING PLAN KEY NOTES**

- INFILL CEILING TO MATCH EXISTING TO NEW HEADER. PROVIDE CROSS BRACING AS REQUIRED FOR OFFICE FRONT.
- NEW METAL-FRAMED GWB CEILING (TYP.).
- NEW GWB SOFFIT. REFER TO PLAN FOR HEIGHT.
- INFILL CEILING WITH NEW ACT AND GRID WHERE EXISTING CEILING WAS DEMOLISHED.
- EXISTING CEILING TO REMAIN. PROVIDE NEW COAT, PATCH & REPAIR AS NEEDED. NEW CEILING MOUNTED FIXTURES.
- NEW WOOD PLANK CEILING.
- EXISTING CEILING AND CEILING MOUNTED FIXTURES TO REMAIN. PROVIDE NEW COAT, PATCH & REPAIR AS NEEDED.
- EXISTING ACT GRID TO REMAIN. NEW CEILING TILES AND NEW LED LIGHTING FIXTURES AT ALL ACT CEILING LOCATIONS (TYP.).
- DRAPES TO BE SUPPLIED AND INSTALLED BY GC. DRAPE VENDOR TO PROVIDE SHOP DRAWING CONFIRMING LOCATION AND QUANTITY OF J-BOXES REQUIRED. CONTRACTOR TO REVIEW CUT SHEETS PRIOR TO FRAMING.

REV	DESCRIPTION	DATE
0	PERMIT / SUBMITTAL 1	05.27.2025
1	REVISION 2 / SUBMITTAL 2	08.01.2025
2	SUBMITTAL 3	

**garcia stromberg**

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 PRINT DATE: 8/20/25 5:50:12 PM

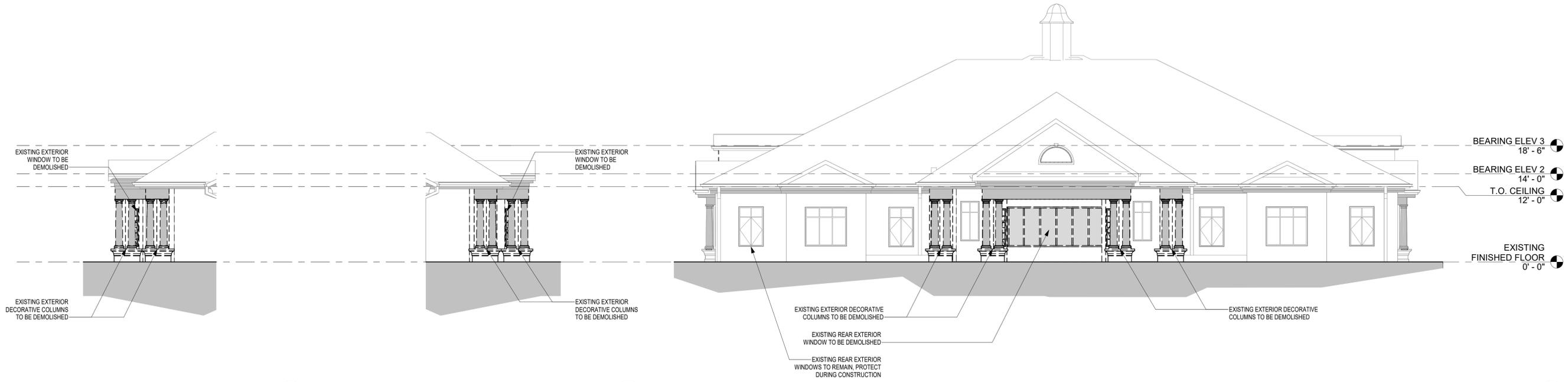
PROJECT NAME: SALES CENTER  
 DRAWING NAME: GROUND FLOOR - REFLECTED CEILING PLAN

CLIENT: GULF BAY DEVELOPMENT  
 8152 FIDDLERS CREEK PARKWAY, NAPLES, FL 34114

PROJECT: SALES CENTER  
 FIDDLERS CREEK NAPLES, FL

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 Chief Architect  
 AR0015993  
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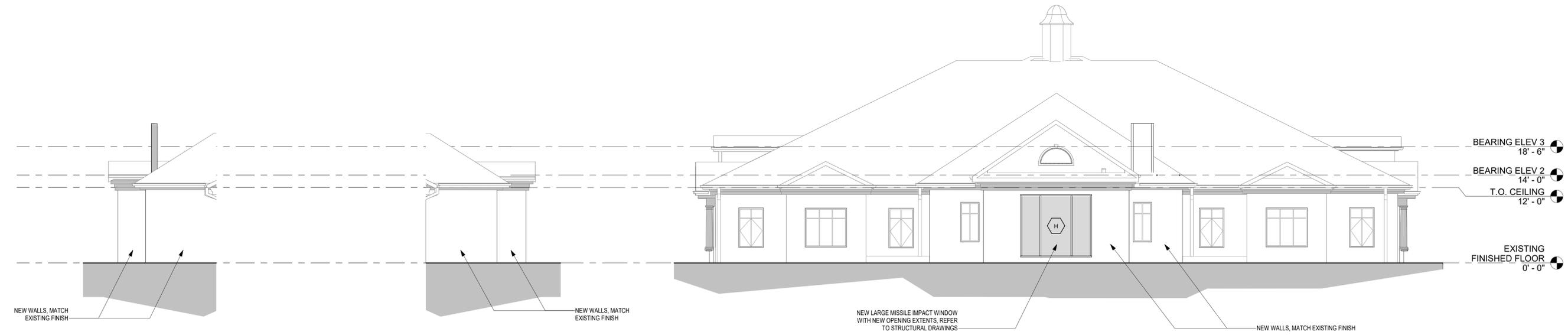
**PERMIT SET 05.27.2025**



**EXISTING WEST REAR ELEVATION** 6  
1/8" = 1'-0" A-2.01

**EXISTING EAST REAR ELEVATION** 5  
1/8" = 1'-0" A-2.01

**EXISTING REAR ELEVATION** 1  
1/8" = 1'-0" A-2.01



**PROPOSED WEST REAR ELEVATION** 4  
1/8" = 1'-0" A-2.01

**PROPOSED EAST REAR ELEVATION** 3  
1/8" = 1'-0" A-2.01

**PROPOSED REAR ELEVATION** 2  
1/8" = 1'-0" A-2.01

EXTERIOR WINDOW REPLACEMENT NOA/FPA SCHEDULE	
TYPE	NOA OR FPA
H	FL 17897.1

NOTE:  
1. EXTERIOR WINDOW TO BE IMPACT RESISTANT.  
2. EXTERIOR WINDOW REQUIRES BUILDING OPENING MODIFICATION. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

**GENERAL NOTES:**  
1. GENERAL CONTRACTOR (GC) HAS SOLE RESPONSIBILITY TO COORDINATE ANY STRUCTURAL SHORING OR WEATHER PROTECTION AS REQUIRED.  
2. GC TO PATCH EXISTING FACADE TO MATCH EXISTING FINISH.

REV	DESCRIPTION	DATE
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CLIENT  
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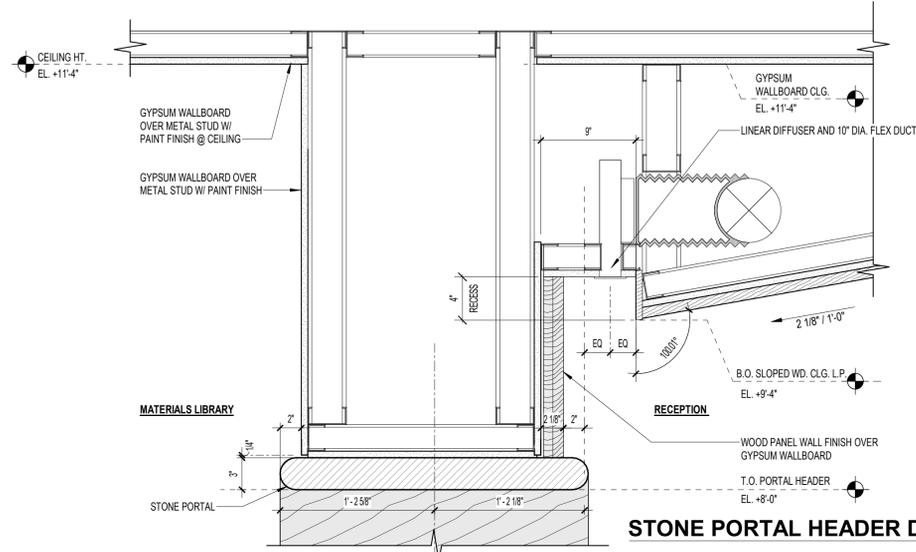
PROJECT  
**SALES CENTER**  
FIDDLER'S CREEK NAPLES, FL

DRAWING NAME  
**REAR BUILDING ELEVATIONS**

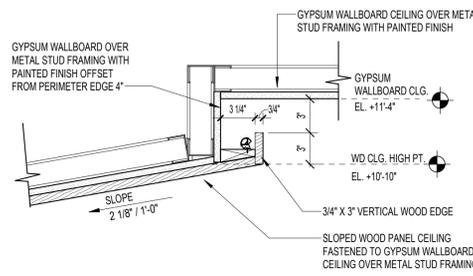
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**A-2.01**

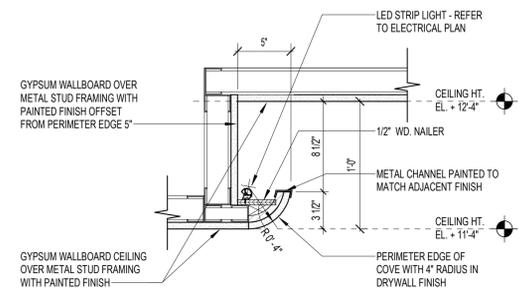
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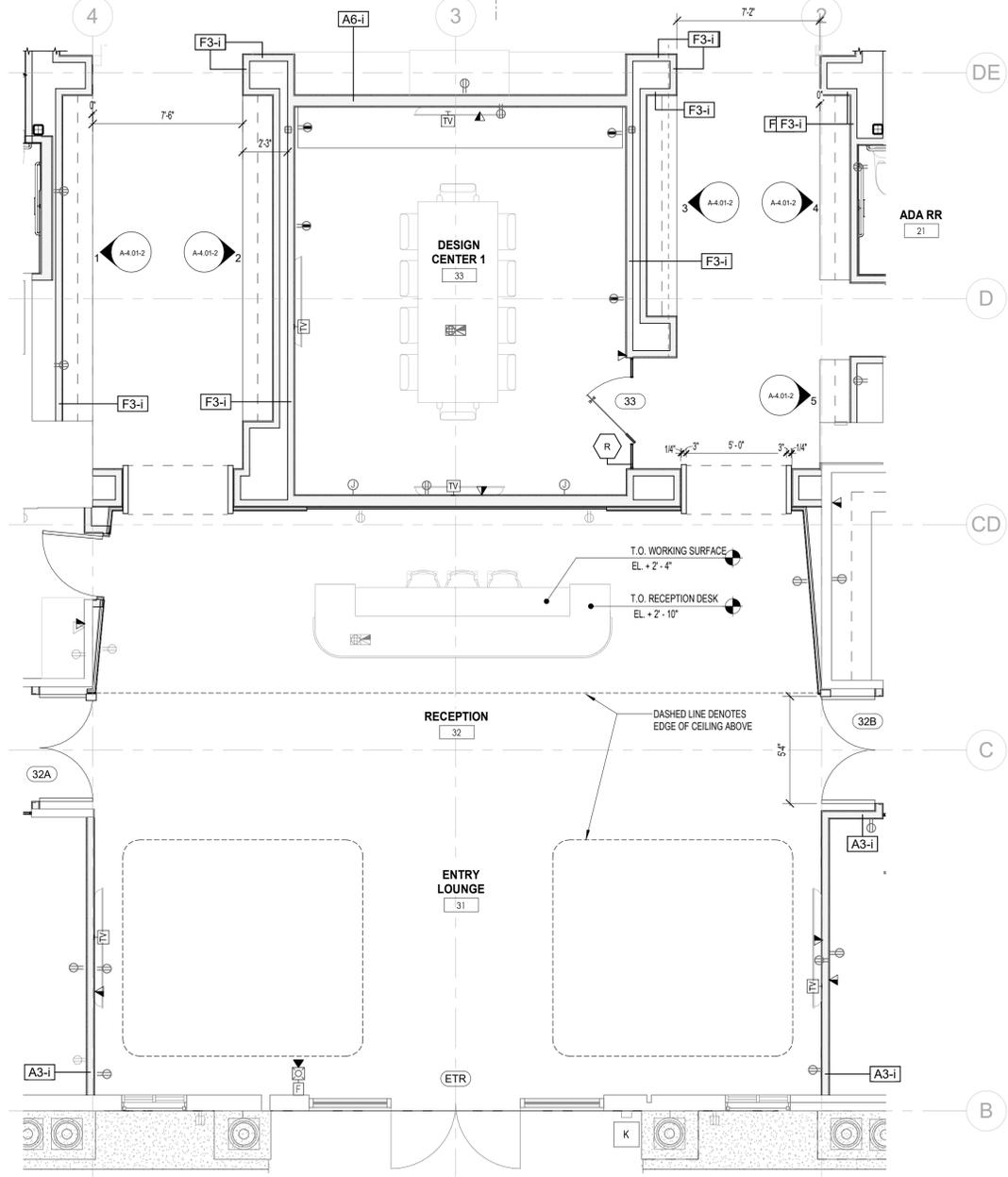
**STONE PORTAL HEADER DETAIL**  
1 1/2" = 1'-0"  
3 A-4.01-1



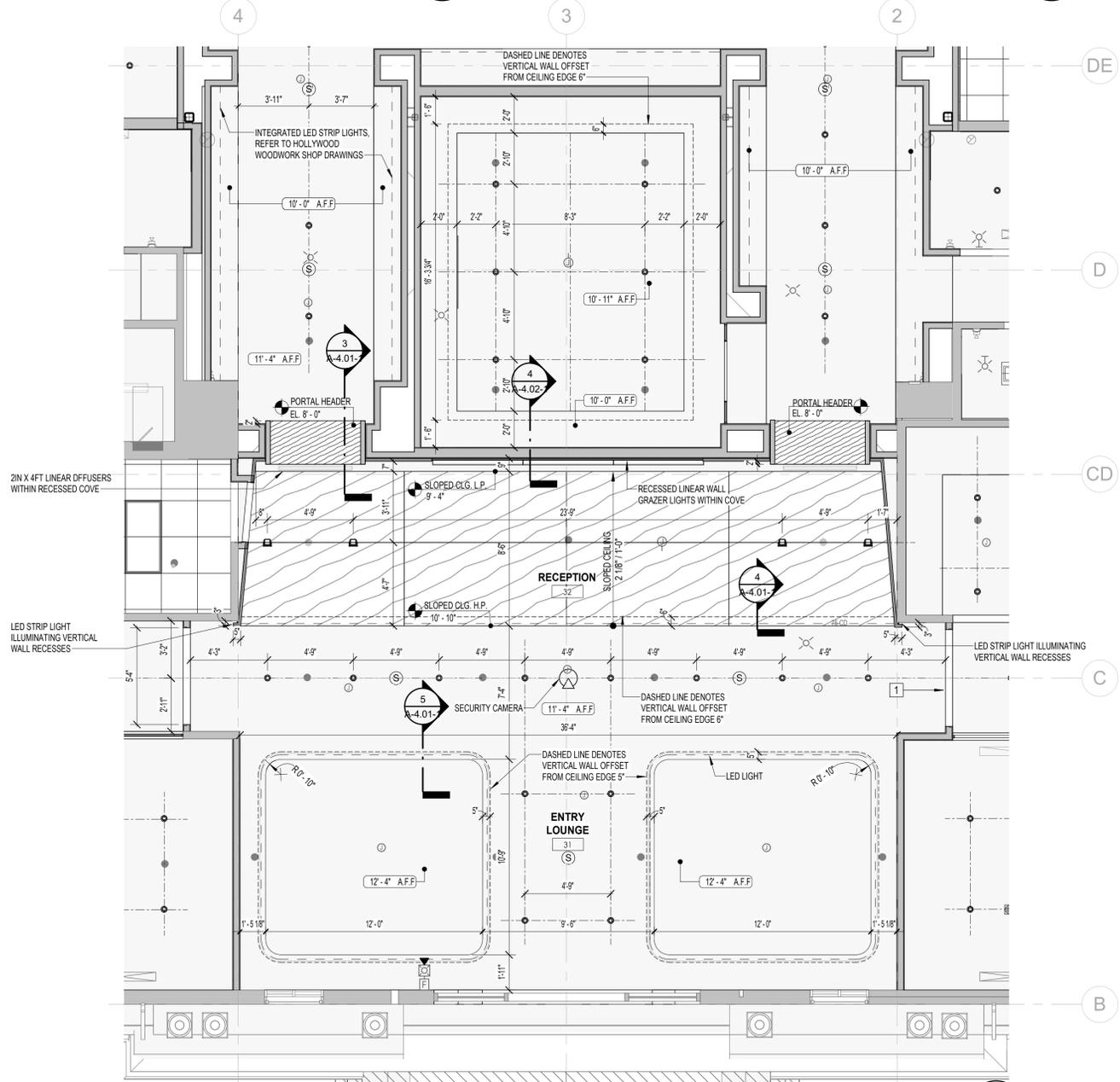
**ENLARGED WOOD CEILING COVE DETAIL @ COVE**  
1 1/2" = 1'-0"  
4 A-4.01-1



**CEILING COVE DETAIL @ ENTRY LOUNGE**  
1 1/2" = 1'-0"  
5 A-4.01-1



**ENLARGED GROUND FLOOR PLAN I**  
1/4" = 1'-0"  
1 A-4.01-1



**ENLARGED GROUND FLOOR REFLECTED CEILING PLAN I**  
1/4" = 1'-0"  
2 A-4.01-1

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2	REVISION 2 / SUBMITTAL 3	08.01.2025

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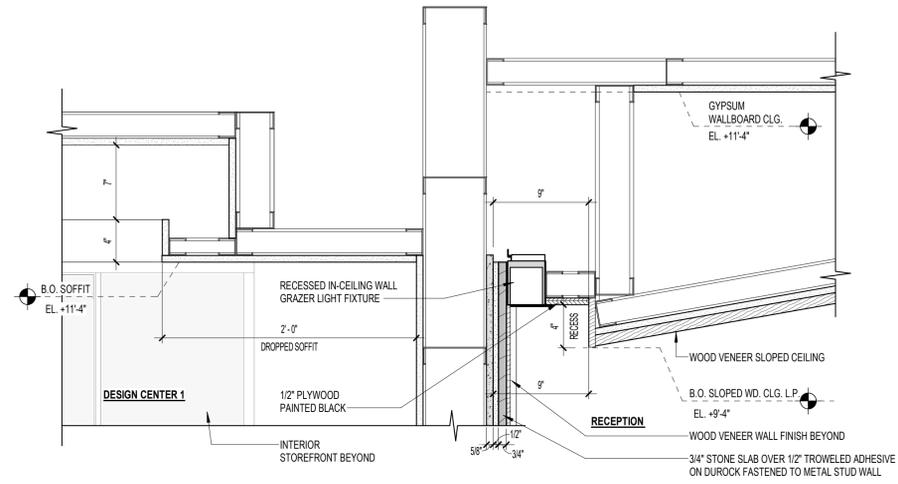
CLIENT  
**GULF BAY DEVELOPMENT**  
 8152 FIDDLER'S CREEK PARKWAY, NAPLES, FL 34114

PROJECT  
**SALES CENTER**  
 FIDDLER'S CREEK NAPLES, FL

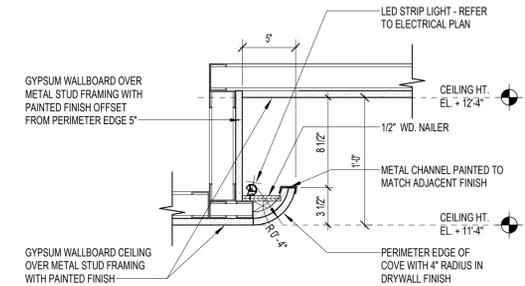
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**ENLARGED GROUND FLOOR PLAN I**

SHEET NUMBER  
**A-4.01-1**  
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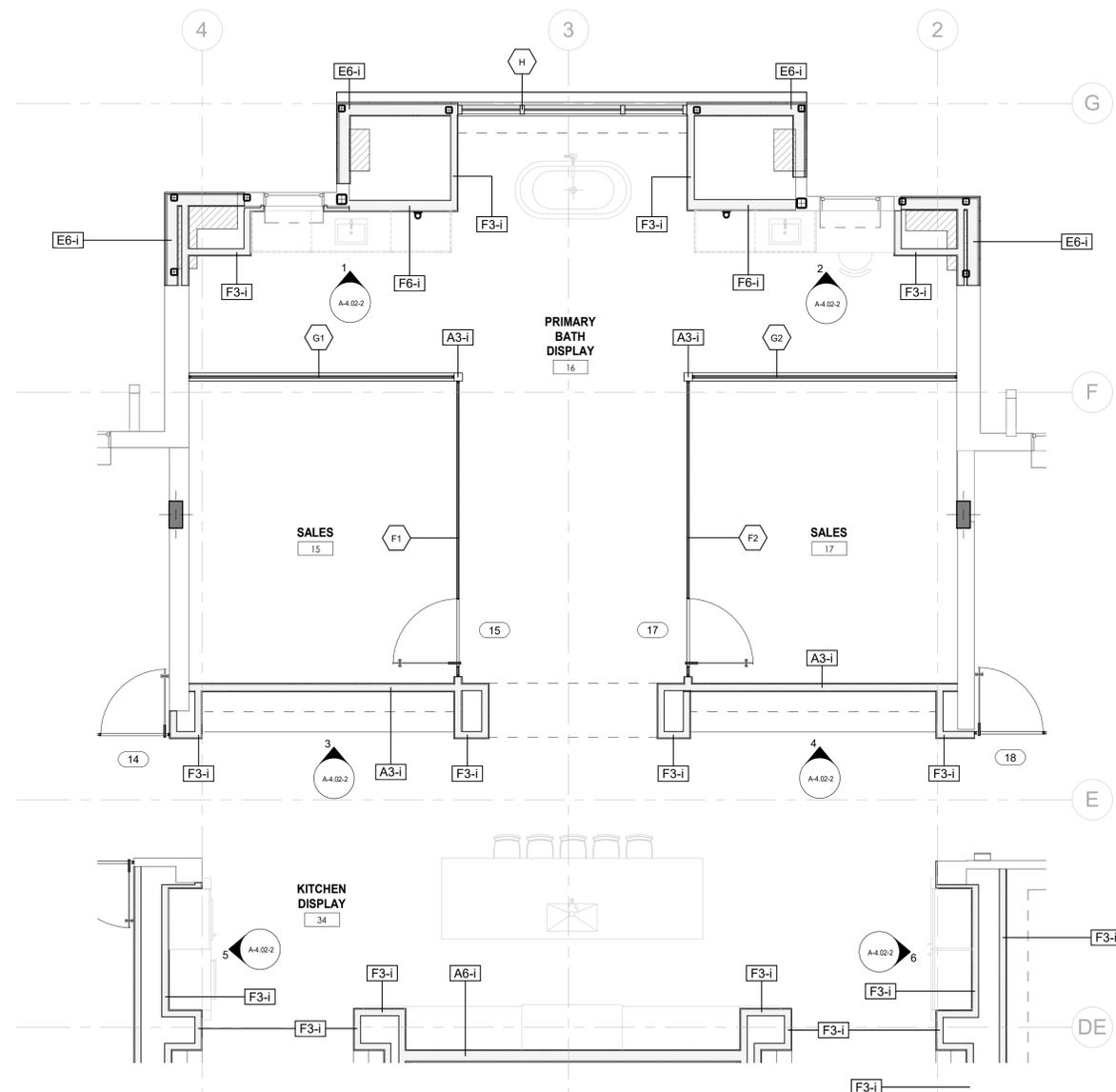
PERMIT SET 05.27.2025  
 PROJECT NUMBER: 2103



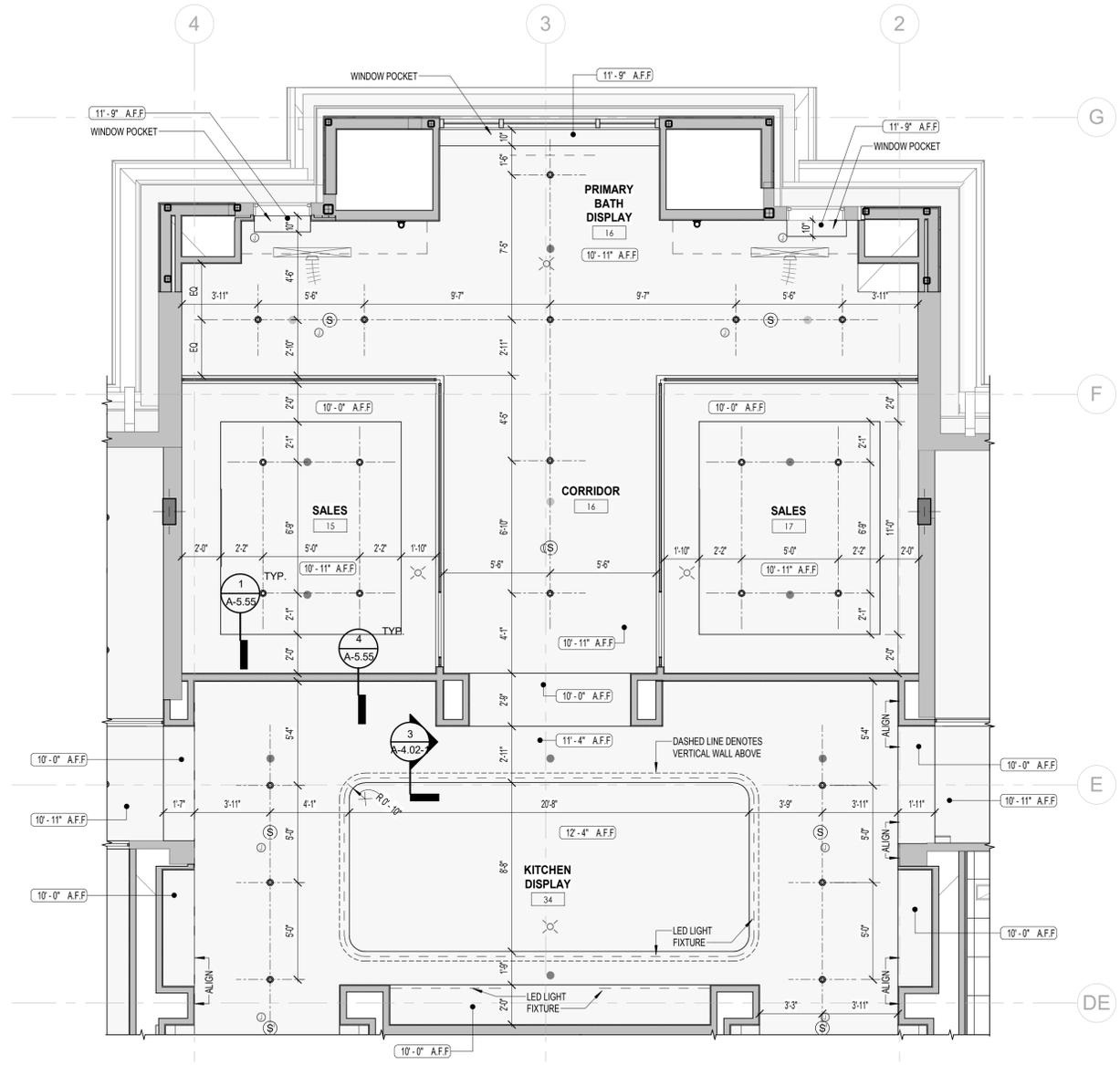
**STONE BACKWALL / COVE DETAIL** 4  
1 1/2" = 1'-0" A-4.02-1



**CEILING COVE DETAIL @ DISPLAY KITCHEN** 3  
1 1/2" = 1'-0" A-4.02-1



**ENLARGED GROUND FLOOR PLAN II** 1  
1/4" = 1'-0" A-4.02-1



**ENLARGED GROUND FLOOR REFLECTED CEILING PLAN II** 2  
1/4" = 1'-0" A-4.02-1

REV	DESCRIPTION	DATE
2	REVISION 2 / SUBMITTAL 3	08.01.2025

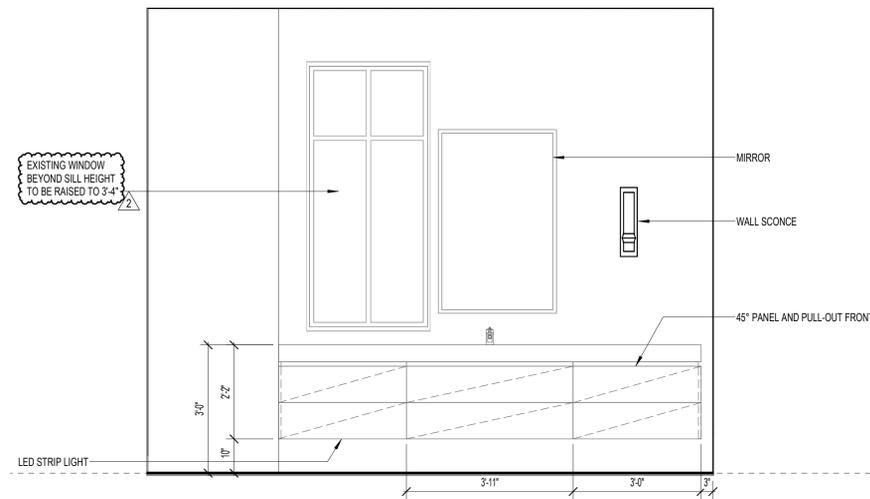
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DRAWING NAME  
**ENLARGED GROUND FLOOR PLAN II**

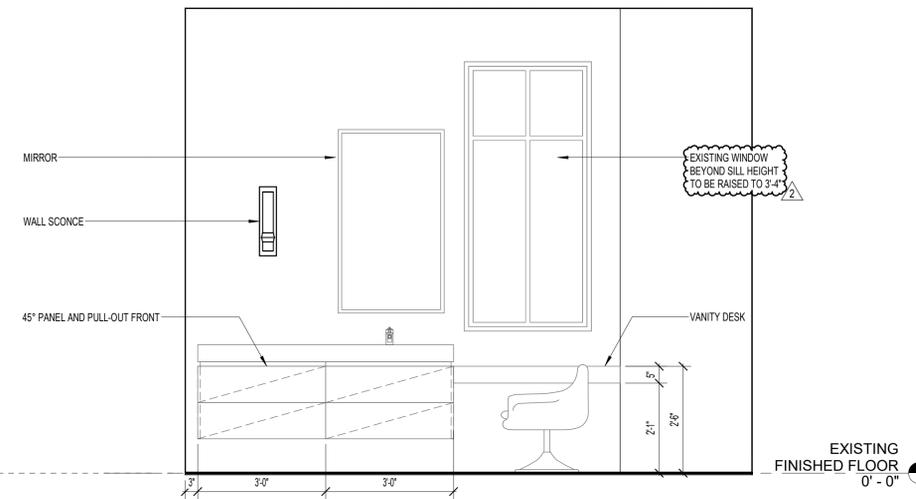
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 PROJECT NUMBER: 2103  
 SHEET NUMBER: 2103  
**A-4.02-1**  
 PRINT DATE: 8/12/2025 5:07 PM



**DISPLAY BATHROOM ELEVATION 1**

1/2" = 1'-0"

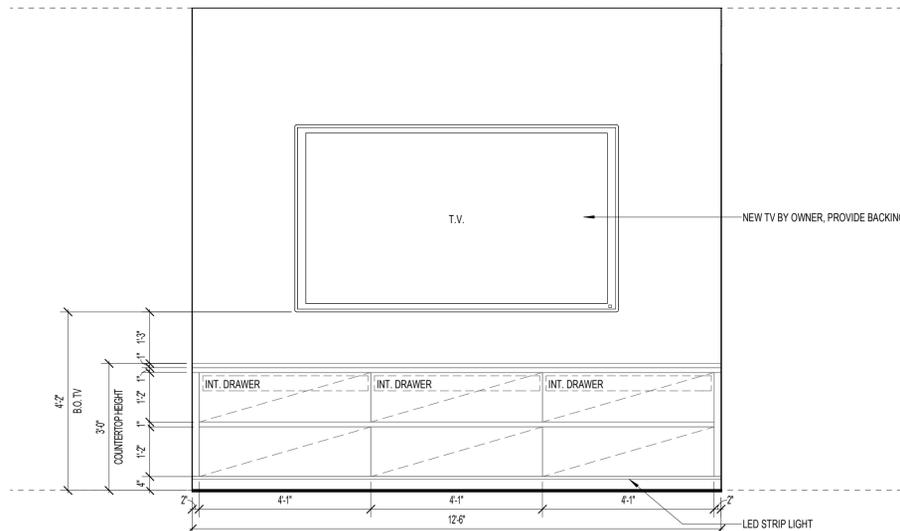
1  
A-4.02-2



**DISPLAY BATHROOM ELEVATION 2**

1/2" = 1'-0"

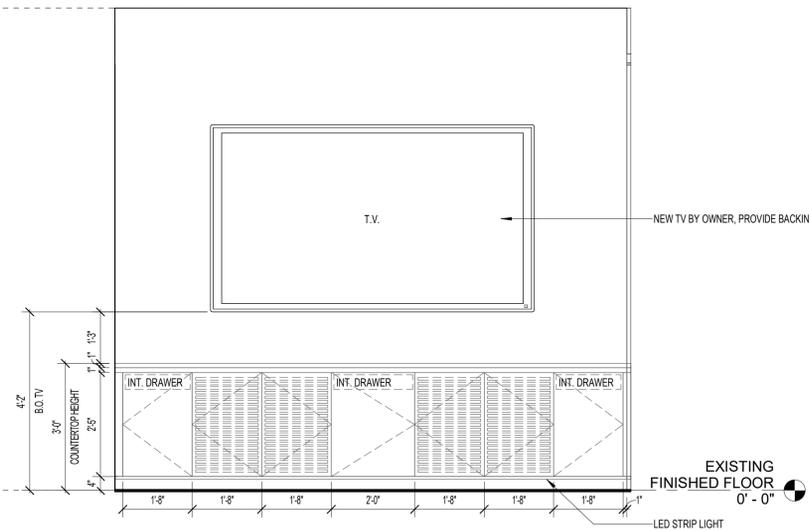
2  
A-4.02-2



**TV WALL ELEVATION 1**

1/2" = 1'-0"

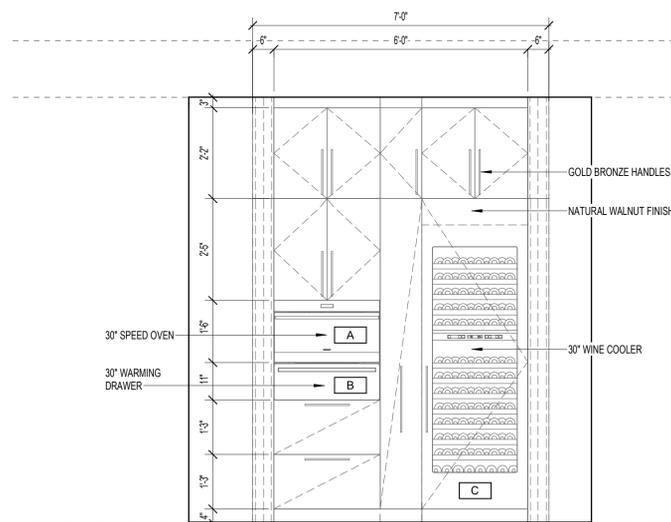
3  
A-4.02-2



**TV ELEVATION WALL 2**

1/2" = 1'-0"

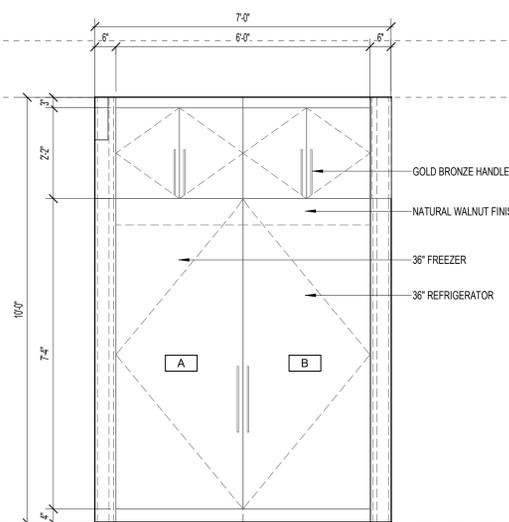
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A-4.02-2



**DISPLAY KITCHEN ELEVATION 1**

1/2" = 1'-0"

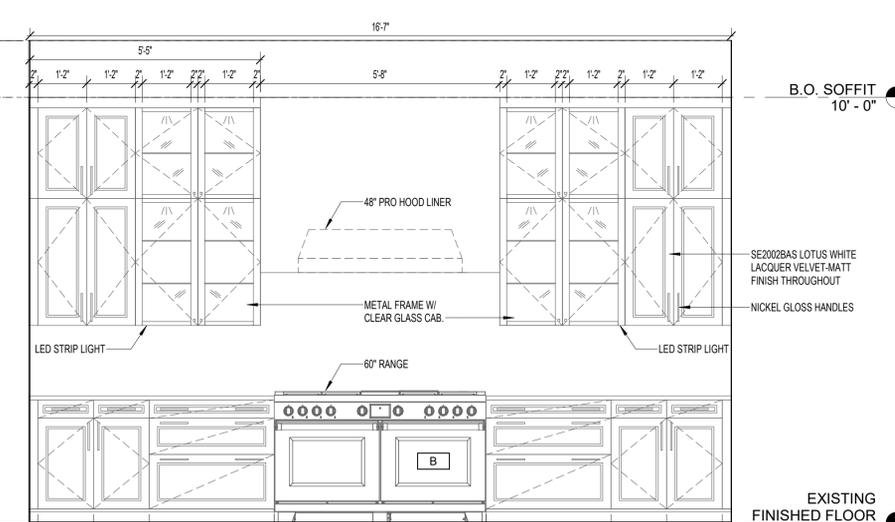
5  
A-4.02-2



**DISPLAY KITCHEN ELEVATION 2**

1/2" = 1'-0"

6  
A-4.02-2



**DISPLAY KITCHEN ELEVATION 3**

1/2" = 1'-0"

7  
A-4.02-2

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2	REVISION 2 / SUBMITTAL 3	08.01.2025

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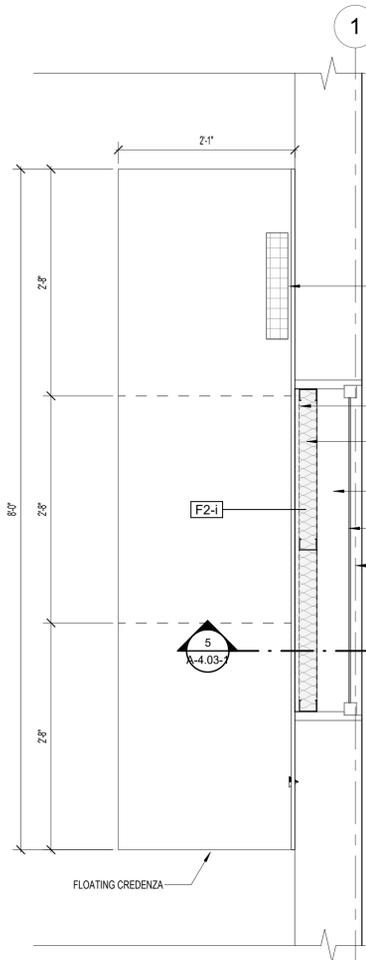
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**GROUND FLOOR ELEVATIONS II**

**A-4.02-2**  
 SHEET NUMBER  
 PROJECT NUMBER: 2103  
 DRAWING NAME  
 PERMIT SET 05.27.2025  
 PRINT DATE: 8/12/2025 5:20:18 PM

DESIGN CENTER 2  
19



ENLARGED DESIGN CENTER 2 PLAN

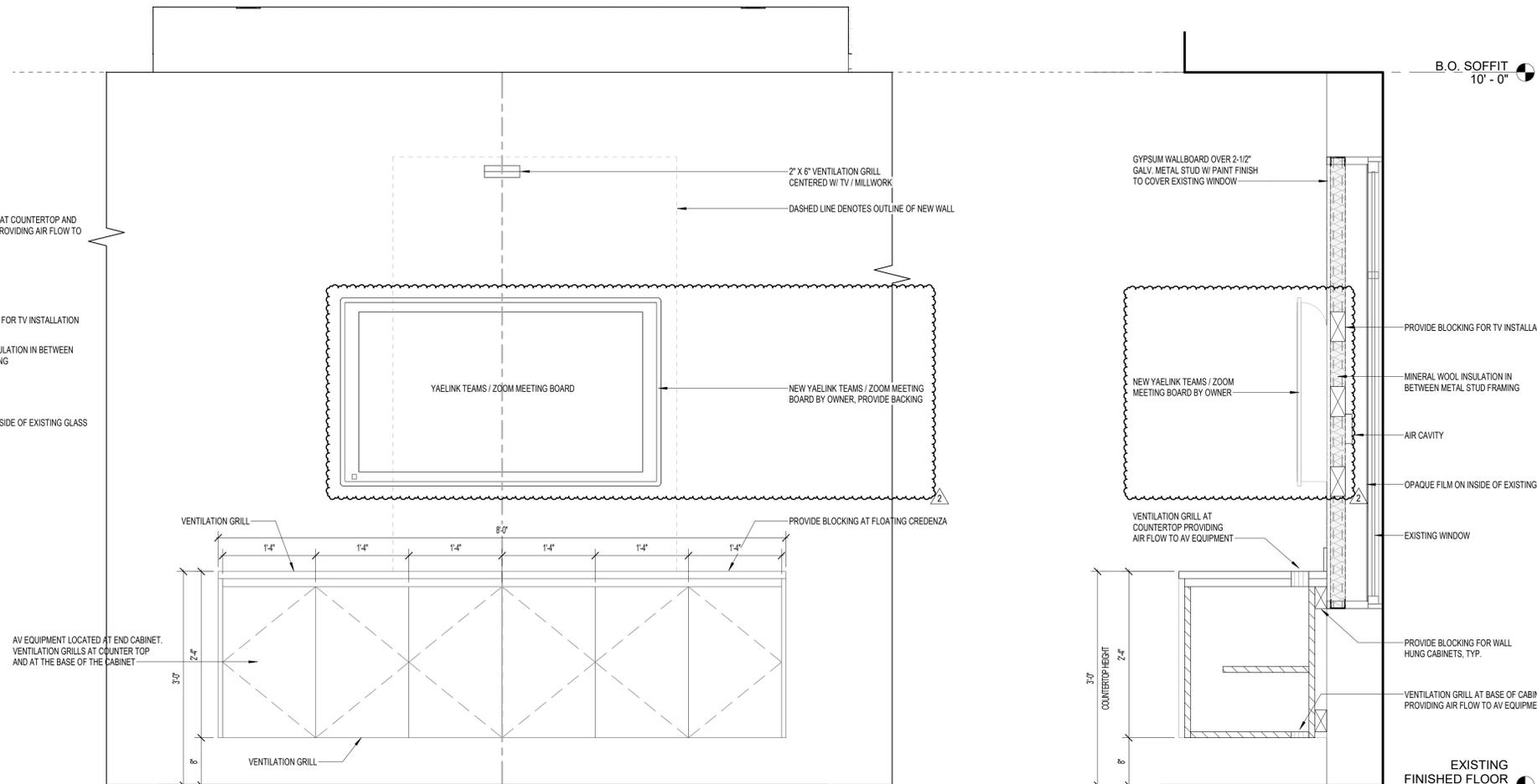
1" = 1'-0"

3  
A-4.03-1

DESIGN CENTER 2 CREDENZA ELEVATION

1" = 1'-0"

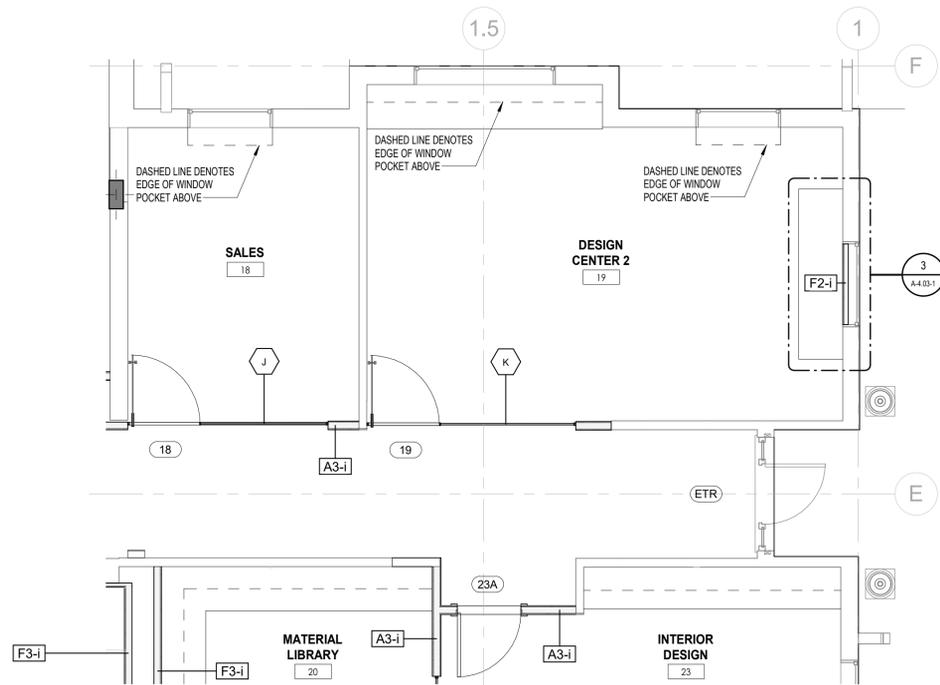
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A-4.03-1



DESIGN CENTER 2 CREDENZA SECTION DETAIL

1" = 1'-0"

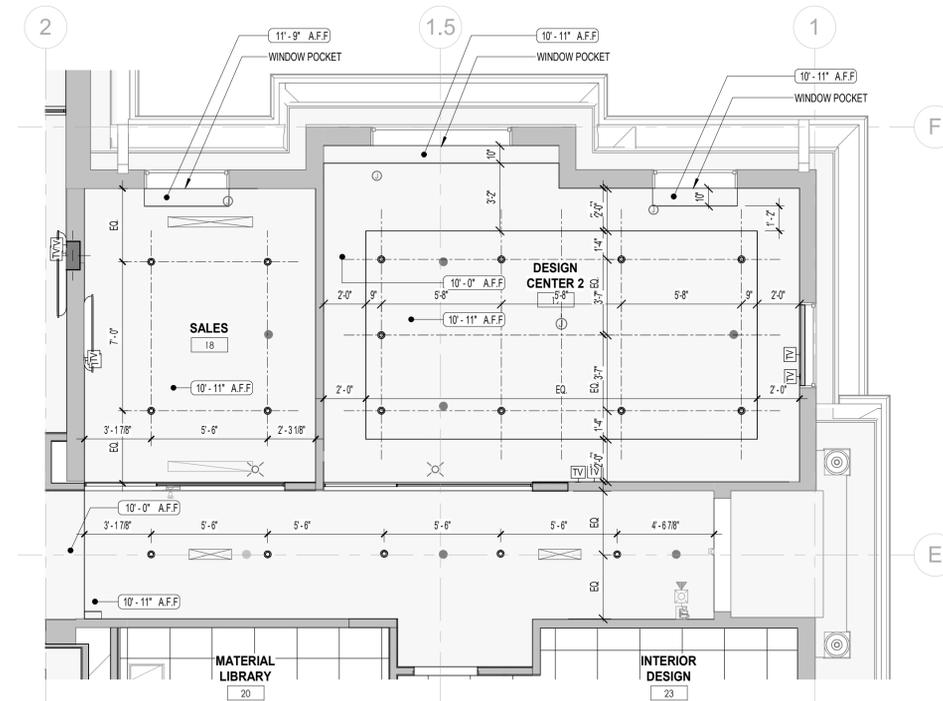
5  
A-4.03-1



ENLARGED GROUND FLOOR PLAN III

1/4" = 1'-0"

1  
A-4.03-1



ENLARGED GROUND FLOOR REFLECTED CEILING PLAN III

1/4" = 1'-0"

2  
A-4.03-1

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2	REVISION 2 / SUBMITTAL 3	08.01.2025

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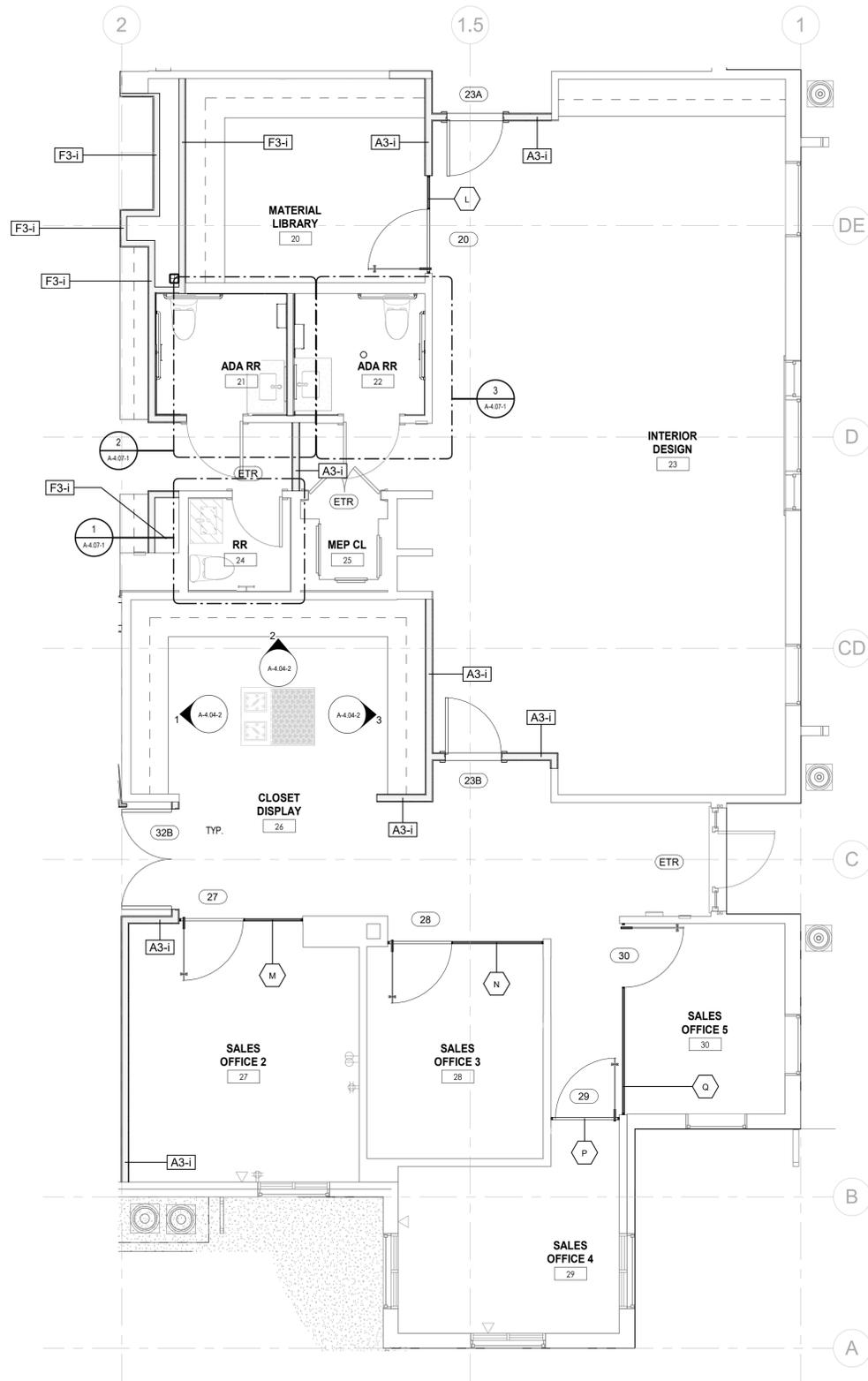
CLIENT  
**GULF BAY DEVELOPMENT**  
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PROJECT  
**SALES CENTER**  
 FIDDLER'S CREEK NAPLES, FL

DRAWING NAME  
**ENLARGED GROUND FLOOR PLAN III**

SHEET NUMBER  
**A-4.03-1**  
 PROJECT NUMBER: 2103  
 PRINT DATE: 8/12/2025 5:50:19 PM

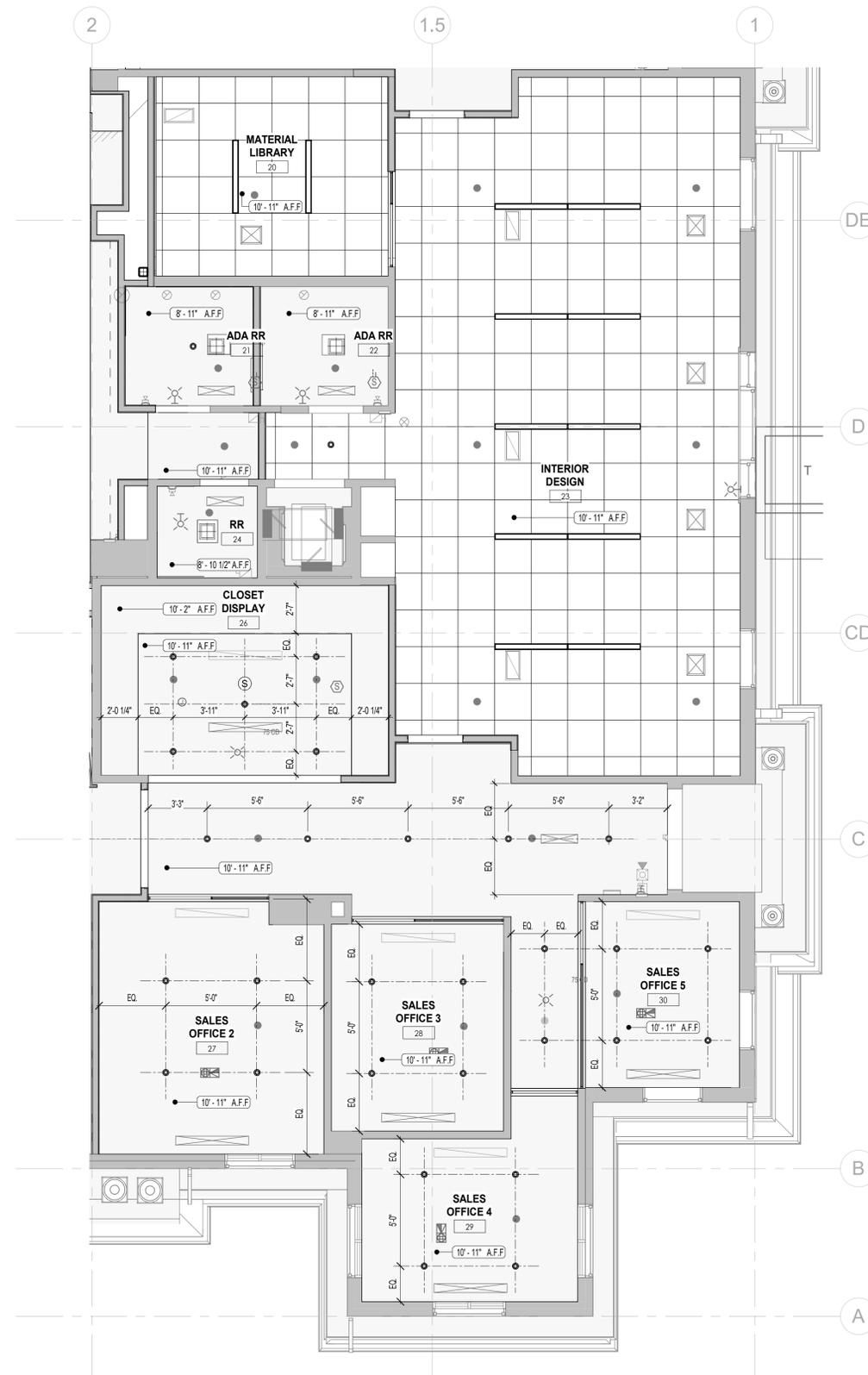
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ENLARGED GROUND FLOOR PLAN IV

1/4" = 1'-0"

1  
A-4.04-1



ENLARGED GROUND FLOOR REFLECTED CEILING PLAN IV

1/4" = 1'-0"

2  
A-4.04-1

PERMIT SET 05.27.2025

PROJECT NUMBER: 2103

DRAWING NAME

ENLARGED  
GROUND  
FLOOR PLAN  
IV

PROJECT

SALES CENTER

FIDDLERS CREEK  
NAPLES, FL

CLIENT

GULF BAY  
DEVELOPMENT  
8152 FIDDLERS CREEK  
PARKWAY, NAPLES, FL  
34114

SCALE

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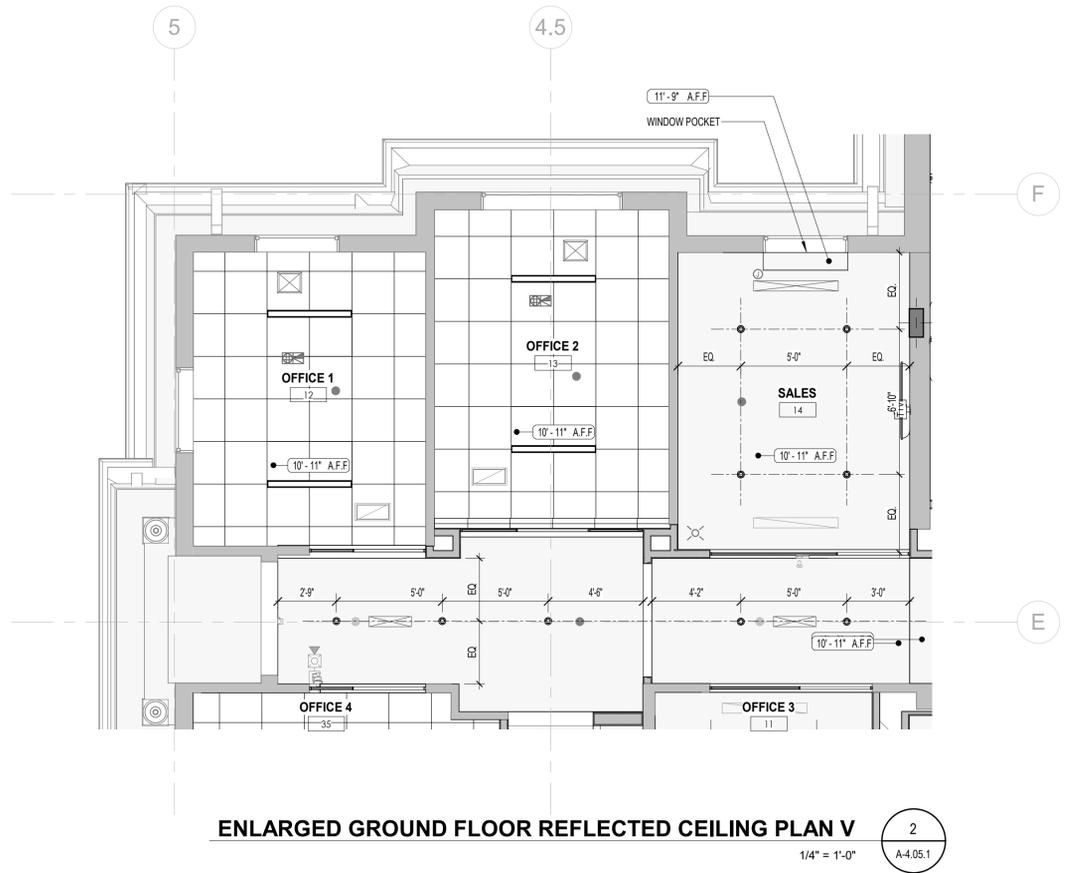
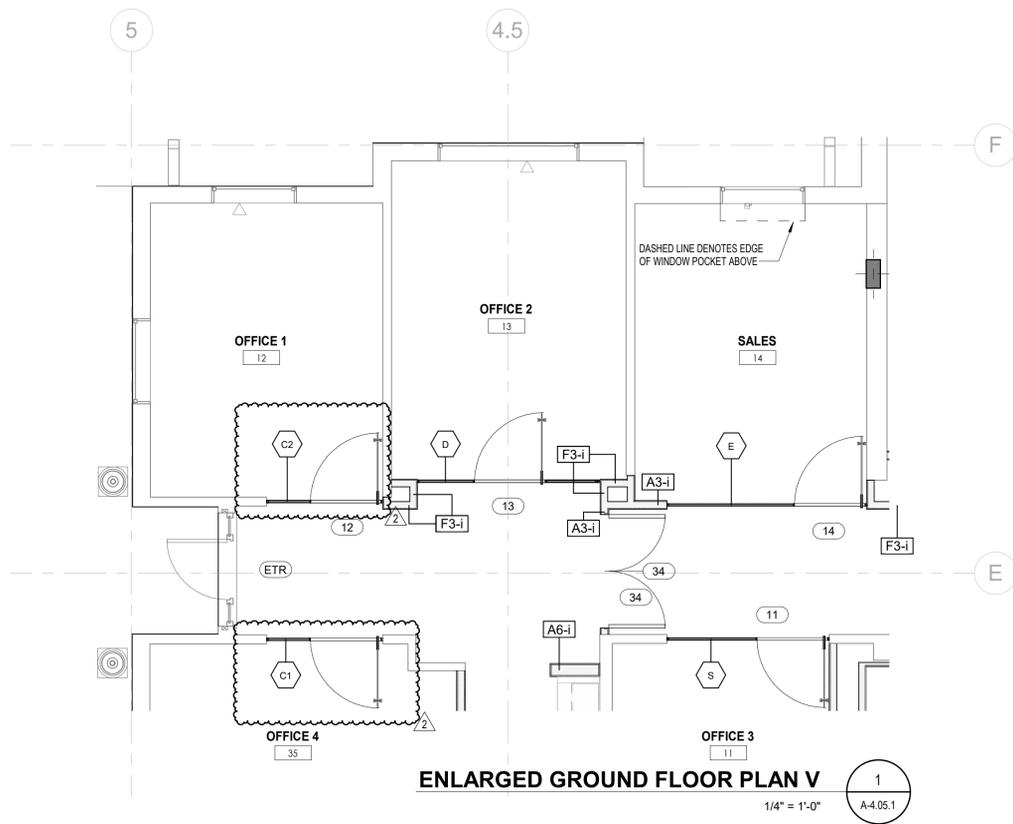
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**A-4.04-1**

PRINT DATE

8/12/2025 3:52:00 PM





PERMIT SET 05.27.2025

PROJECT NUMBER: 2103

DRAWING NAME

**ENLARGED  
GROUND  
FLOOR PLAN V**

**SALES CENTER**

FIDDLER'S CREEK  
NAPLES, FL

CLIENT

**GULF BAY  
DEVELOPMENT**  
8152 FIDDLER'S CREEK  
PARKWAY, NAPLES, FL  
34114

SCALE

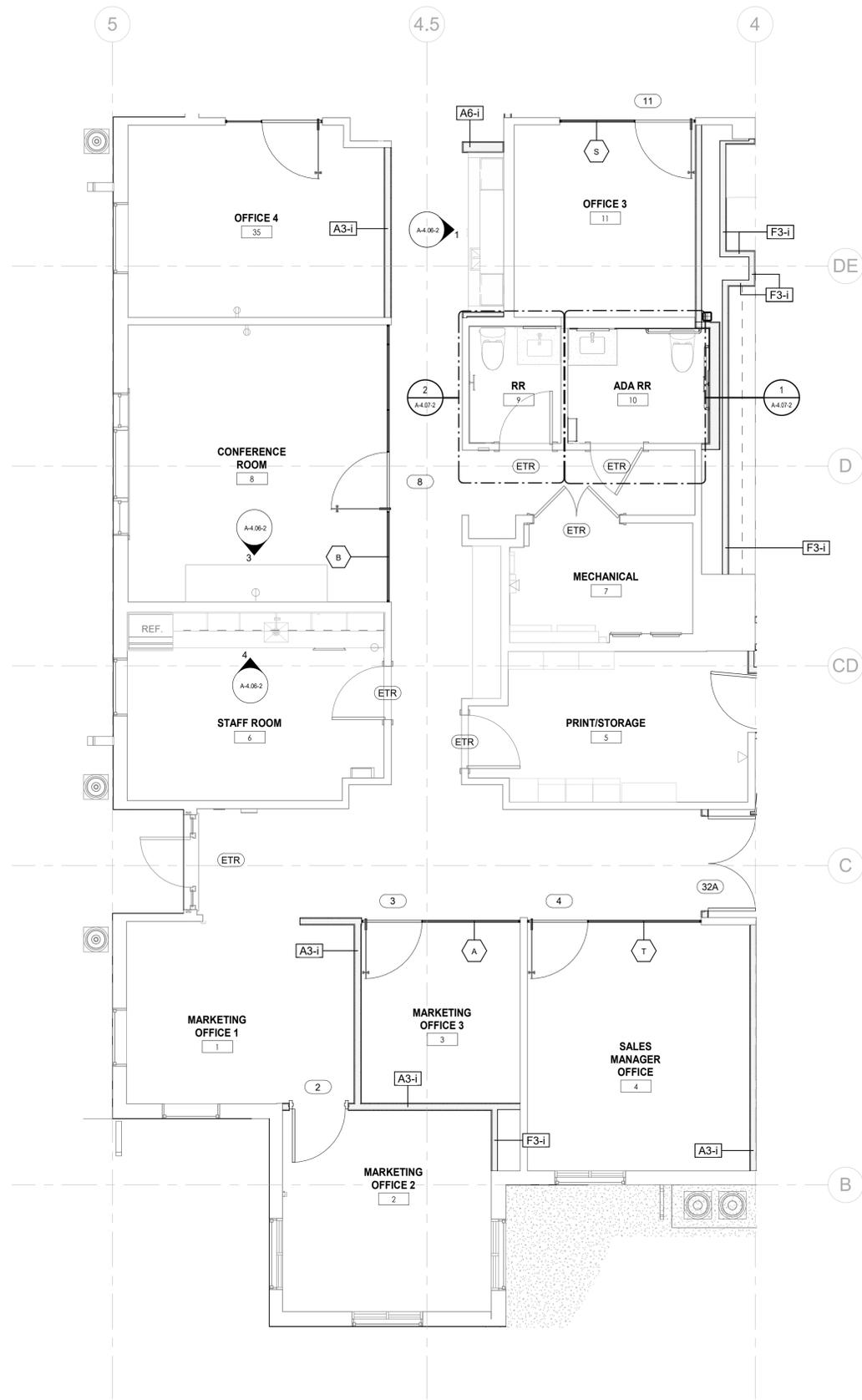
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Peter T. Stromberg, P.A., NCARB  
Chief Architect, Exterior  
AR00158393

REV	DESCRIPTION	DATE
2	REVISION 2 / SUBMITTAL 3	08.01.2025

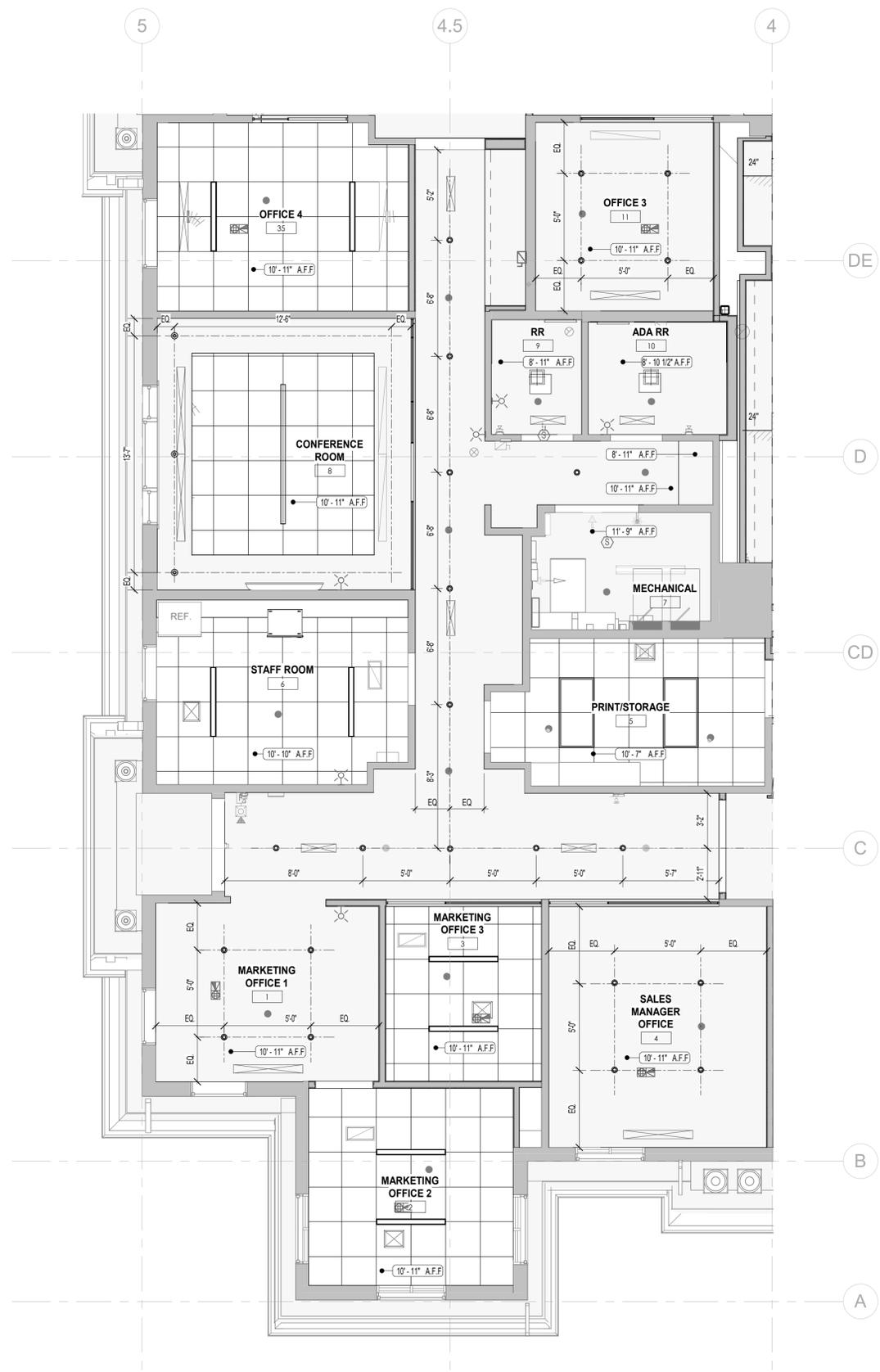


ENLARGED GROUND FLOOR PLAN VI

1/4" = 1'-0"

1

A-4.06-1



ENLARGED GROUND FLOOR REFLECTED CEILING PLAN VI

1/4" = 1'-0"

2

A-4.06-1

PERMIT SET 05.27.2025

PROJECT NUMBER: 2103

DRAWING NAME

ENLARGED GROUND FLOOR PLAN VI

SALES CENTER

FIDDLER'S CREEK  
NAPLES, FL

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GULF BAY DEVELOPMENT  
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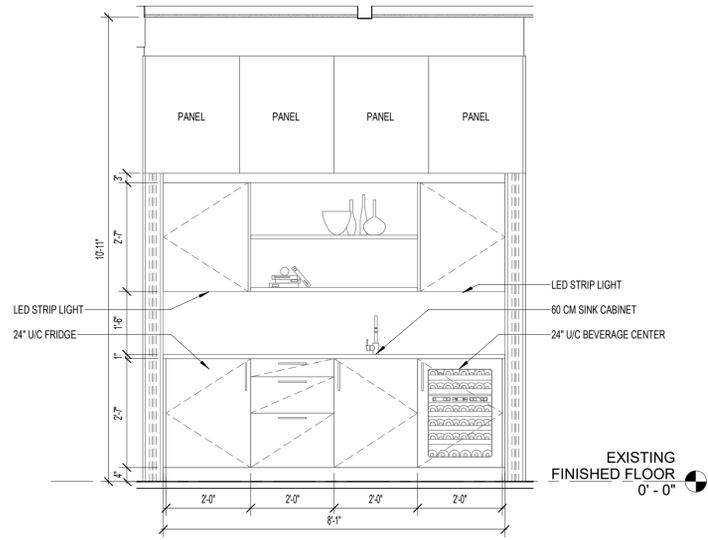
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REV	DESCRIPTION	DATE
2	REVISION 2 / SUBMITTAL 3	08.01.2025

SHEET NUMBER

A-4.06-1

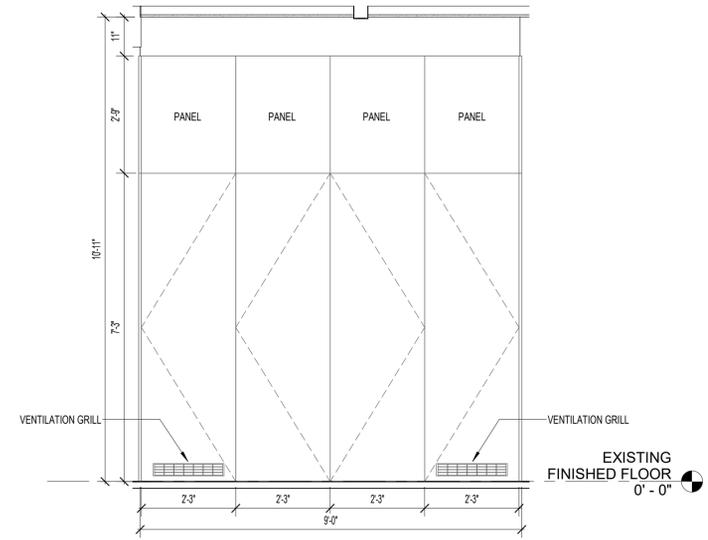
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**OPEN WET BAR ELEVATION**

1/2" = 1'-0"

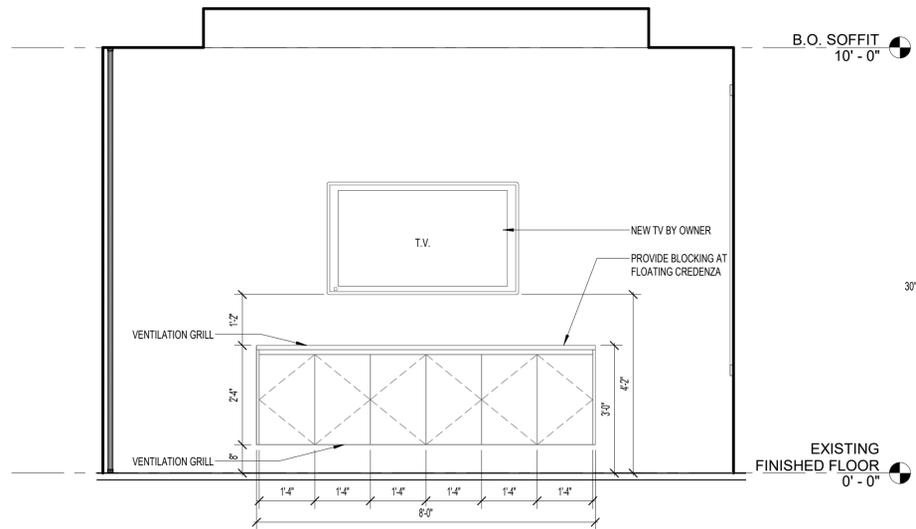
1  
A-4.06-2



**CLOSED WET BAR ELEVATION**

1/2" = 1'-0"

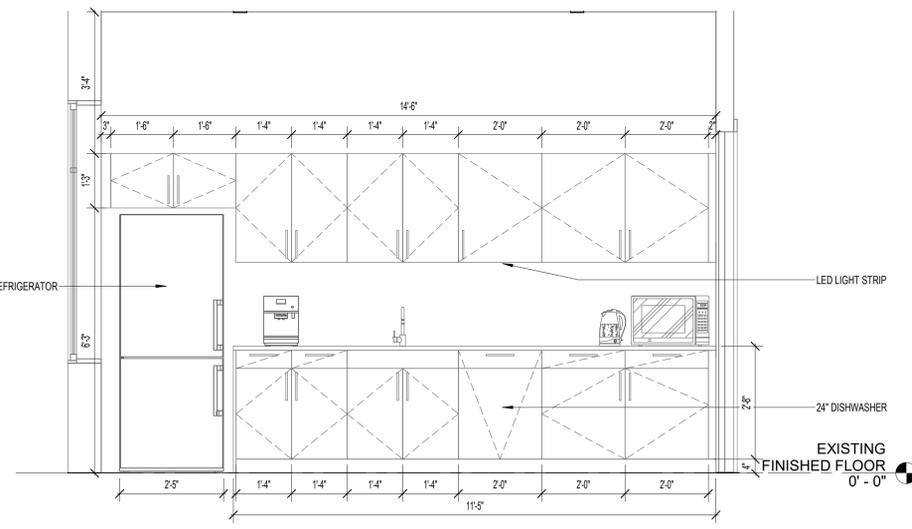
2  
A-4.06-2



**CONFERENCE ROOM ELEVATION**

1/2" = 1'-0"

3  
A-4.06-2



**STAFF KITCHEN ELEVATION**

1/2" = 1'-0"

4  
A-4.06-2

REV	DESCRIPTION	DATE
2	REVISION 2 / SUBMITTAL 3	08.01.2025

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 Project: J. Garcia, P.A., NCARB  
 Chief Architect  
 2805 Vista Parkway, Suite #6 | West Palm Beach, FL 33411 | TEL: 561-578-8865

**GULF BAY DEVELOPMENT**  
 8152 FIDDLER'S CREEK PARKWAY, NAPLES, FL 34114

**SALES CENTER**  
 FIDDLER'S CREEK NAPLES, FL

**GROUND FLOOR ELEVATIONS VI**

PERMIT SET 05.27.2025

PROJECT NUMBER: 2103

DRAWING NAME

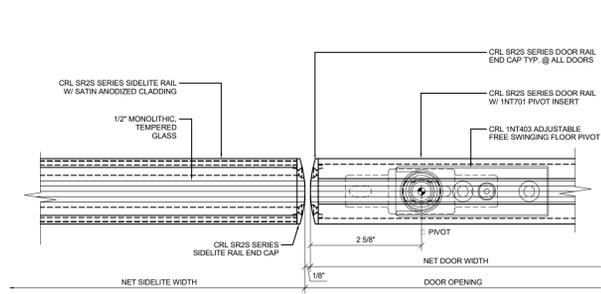
SHEET NUMBER

**A-4.06-2**

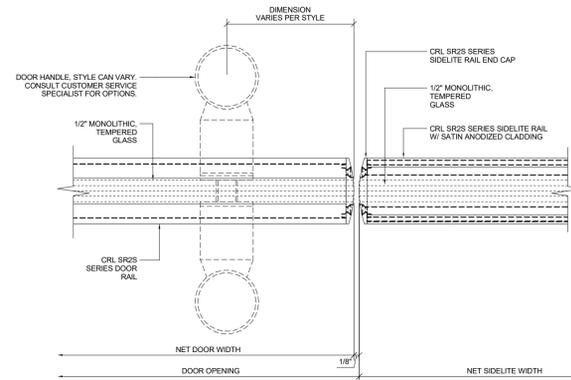
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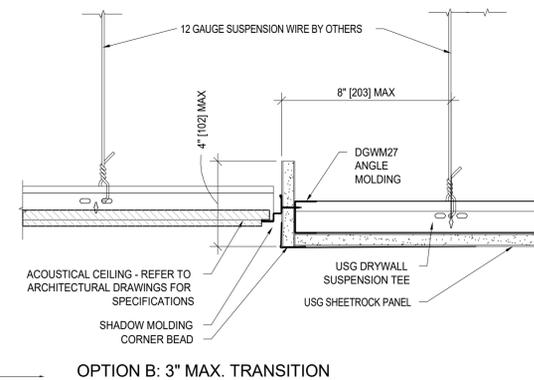




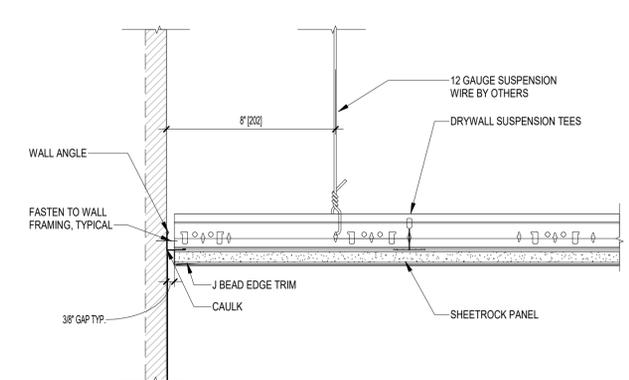
**DOOR JAMB @ HINGE-SIDELITE DETAIL** 13  
6" = 1'-0" A-5.55



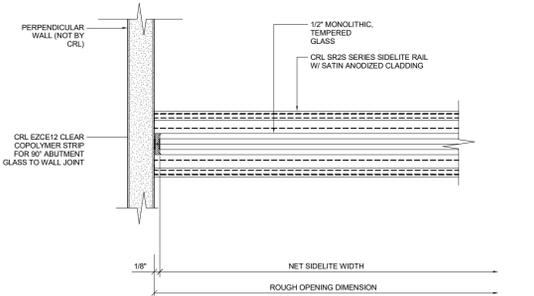
**DOOR JAMB AT SIDELITE DETAIL** 10  
6" = 1'-0" A-5.55



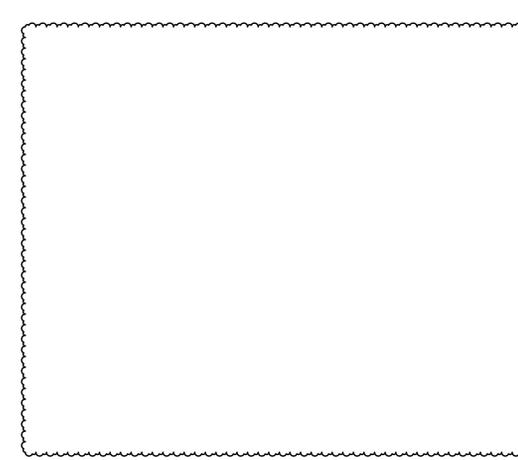
**ACT TO GYP STEPPED DETAIL** 7  
3" = 1'-0" A-5.55



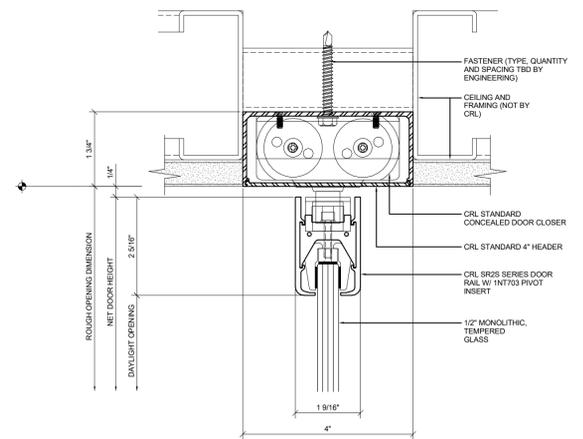
**GYP CEILING TO WALL DETAIL** 4  
3" = 1'-0" A-5.55



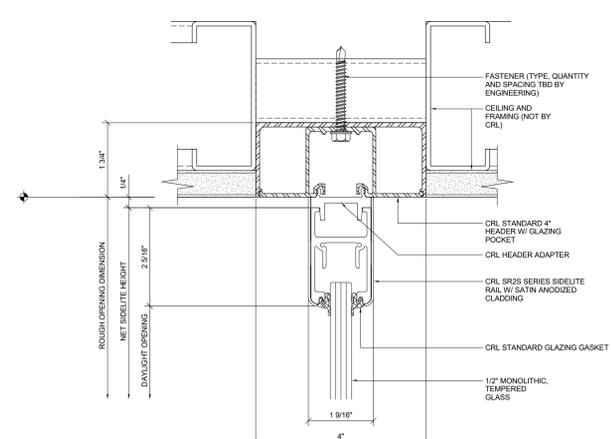
**SIDELITE AT WALL DETAIL** 14  
6" = 1'-0" A-5.55



**GYP CLNG CONTROL JOINT DETAIL** 3  
3" = 1'-0" A-5.55

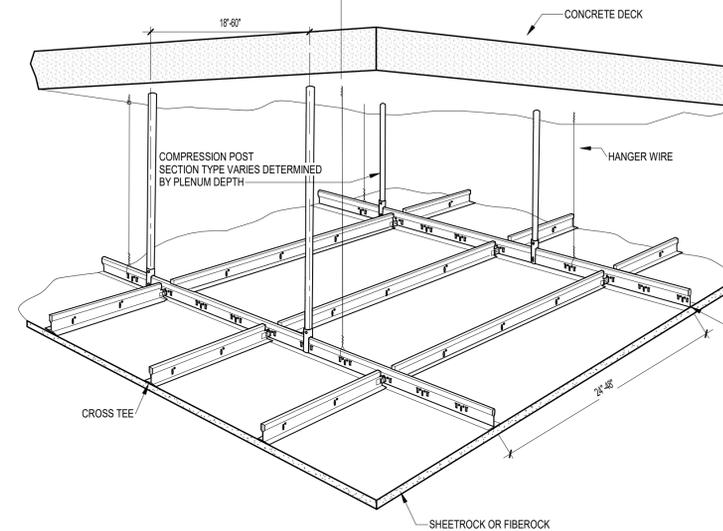


**TYPICAL DOOR HEADER DETAIL** 12  
6" = 1'-0" A-5.55

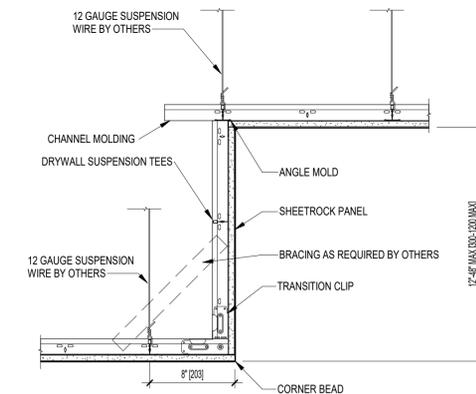


**TYPICAL SIDELITE DETAIL W/TOP RAIL** 9  
6" = 1'-0" A-5.55

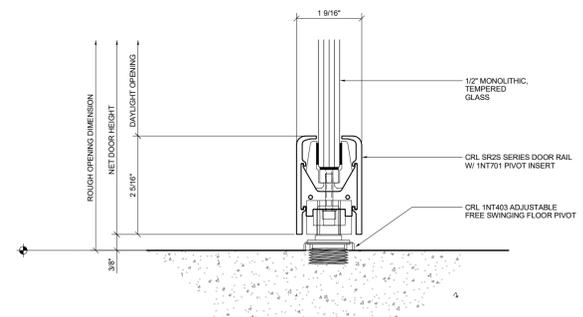
1/2" OR 5/8" EXTERIOR PANELS  
\*NOTE: ONLY SHEETROCK BRAND EXTERIOR CEILING BOARD, FIBEROCK BRAND AQUA-TOUGH SHEATING, AND DUROCK CEMENT BOARD ARE SUITABLE FOR EXTERIOR APPLICATIONS. SEE DRYWALL SUSPENSION SYSTEM LITERATURE AC3152 FOR DETAILS.



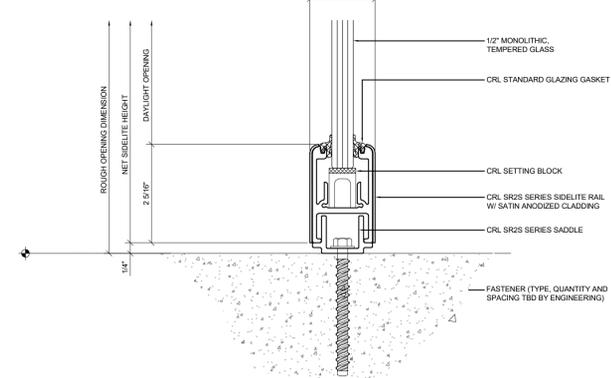
**0 - CLNG DETAIL HUNG** 5  
1 1/2" = 1'-0" A-5.55



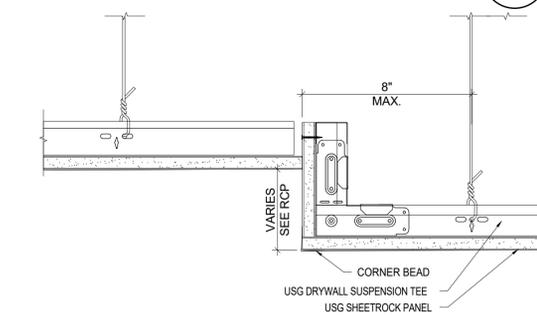
**GYP CEILING TRANSITION** 2  
1 1/2" = 1'-0" A-5.55



**INTERIOR GLAZED DOOR SILL DETAIL** 11  
6" = 1'-0" A-5.55



**SIDELITE SILL DETAIL** 8  
6" = 1'-0" A-5.55



**STEPPED GYP CEILING DETAIL** 1  
3" = 1'-0" A-5.55

REV	DESCRIPTION	DATE
0	PERMIT / SUBMITTAL 1	05.27.2025
1	REVISION 2 / SUBMITTAL 2	08.01.2025
2	REVISION 3 / SUBMITTAL 3	

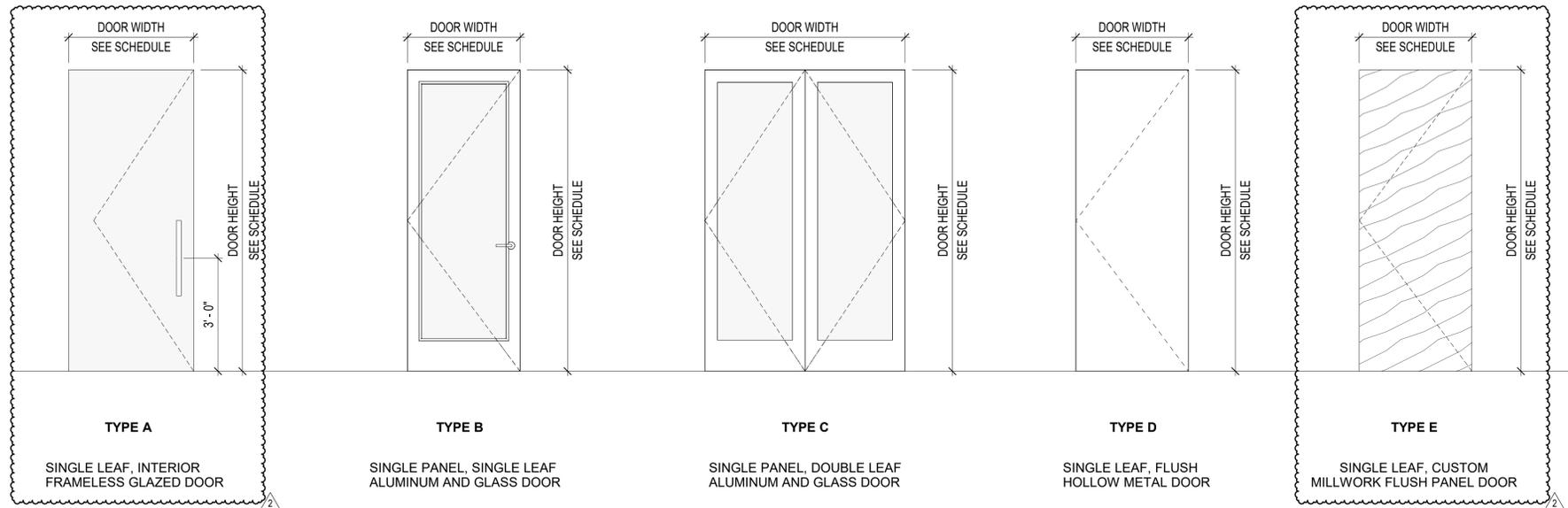
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**garcia stromberg**  
 Partner: T. Stromberg, RA, NCARB  
 Chief Architect: J. Garcia, RA, NCARB  
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CLIENT  
**GULF BAY DEVELOPMENT**  
 8152 FIDDLER'S CREEK PARKWAY, NAPLES, FL 34114

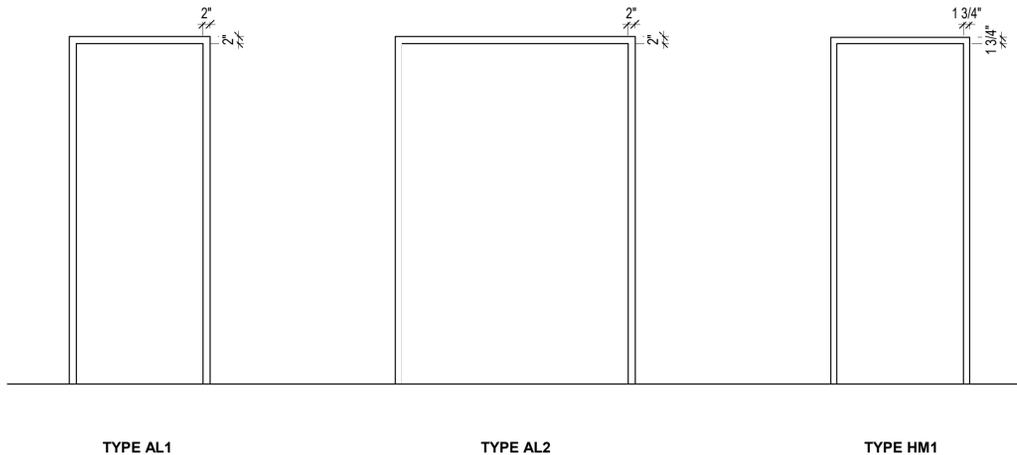
PROJECT  
**SALES CENTER**  
 FIDDLER'S CREEK NAPLES, FL

DRAWING NAME  
**TYPICAL INTERIOR DETAILS**

PERMIT SET 05.27.2025  
 PROJECT NUMBER: 2103  
 SHEET NUMBER:  
**A-5.55**  
 PRINT DATE: 8/12/2025 5:02:34 PM



**DOOR TYPES**



**FRAME TYPES**

**GENERAL DOOR AND HARDWARE NOTES:**

- ALL DOOR HARDWARE TO BE REPLACED IN KIND AND MAINTAIN SAME FUNCTION.
- ALL HARDWARE SHALL BE SUBMITTED (SAMPLES) FOR CLIENT APPROVAL PRIOR TO ORDERING. SHOP DRAWINGS SHALL BE INCORPORATE OWNER REQUIRED ACCESS CONTROL PREFERENCES AND SECURITY CONTROL REQUIREMENTS.
- ALL DOORS AND HARDWARE TO COMPLY WITH STATE, LOCAL CODES AND REQUIREMENTS, AND ACCESSIBILITY CODE.
- FINAL FINISH SELECTIONS SHALL BE BY THE OWNER AND DESIGNER/ARCHITECT.
- EXISTING DOORS AND DOOR TRIM TO REMAIN. REPAIR TRIM AS NEEDED AND PAINT WHITE. COORDINATE WITH FINAL SPECIFICATIONS AND OWNER.
- NEW WOOD INTERIOR DOOR FINISH TO BE COORDINATED WITH FINAL ID SPECIFICATIONS.
- ALL GLASS DOORS TO BE CATEGORY II SAFETY GLASS.
- CERAMIC FRIT TO BE DESIGNED AND SELECTED BY INTERIOR DESIGNER.

DOOR SCHEDULE												
DOOR OPENING TAG	ROOM ID	TYPE MARK	WIDTH	HEIGHT	DOOR LEAF			DOOR FRAME		HARDWARE	COMMENTS	
					THICKNESS	TYPE	MATERIAL	FINISH	MATERIAL			TYPE MARK
2	MARKETING OFFICE 2	B	3'-0"	8'-0"	0'-2"	ALAL1W	GLASS	CLEAR GLASS	ALUMINUM	AL1	5.0	
3	MARKETING OFFICE 3	A	3'-4"	8'-0"	0'-0 1/2"	GLP	GLASS	CLEAR GLASS	ALUMINUM	N/A	10.0	
4	SALES MANAGER OFFICE	A	3'-4"	8'-0"	0'-0 1/2"	GLP	GLASS	CLEAR GLASS	ALUMINUM	N/A	10.0	
5	PRINT/STORAGE	E	3'-0"	8'-0"	0'-2"	WDF	WOOD	WD	WOOD			DOOR PART OF MILLWORK PACKAGE
8	CONFERENCE ROOM	A	3'-4"	8'-0"	0'-0 1/2"	GLP	GLASS	CLEAR GLASS	ALUMINUM	N/A	10.0	
11	OFFICE 3	A	3'-4"	8'-0"	0'-0 1/2"	GLP	GLASS	CLEAR GLASS	ALUMINUM	N/A	10.0	
12	OFFICE 1	A	3'-4"	8'-0"	0'-0 1/2"	GLP	GLASS	CLEAR GLASS	ALUMINUM	N/A	10.0	
13	OFFICE 2	A	3'-4"	8'-0"	0'-0 1/2"	GLP	GLASS	CLEAR GLASS	ALUMINUM	N/A	10.0	
14	SALES	A	3'-4"	8'-0"	0'-0 1/2"	GLP	GLASS	CLEAR GLASS	ALUMINUM	N/A	10.0	
15	SALES	A	3'-4"	8'-0"	0'-0 1/2"	GLP	GLASS	CLEAR GLASS	ALUMINUM	N/A	10.0	
17	SALES	A	3'-4"	8'-0"	0'-0 1/2"	GLP	GLASS	CLEAR GLASS	ALUMINUM	N/A	10.0	
18	SALES	A	3'-4"	8'-0"	0'-0 1/2"	GLP	GLASS	CLEAR GLASS	ALUMINUM	N/A	10.0	
19	DESIGN CENTER 2	A	3'-4"	8'-0"	0'-0 1/2"	GLP	GLASS	CLEAR GLASS	ALUMINUM	N/A	10.0	
20	MATERIAL LIBRARY	A	3'-4"	8'-0"	0'-0 1/2"	GLP	GLASS	CLEAR GLASS	ALUMINUM	N/A	10.0	
23A	INTERIOR DESIGN	D	3'-0"	8'-0"	0'-2"	WDF	WOOD	PTD	HOLLOW METAL	HM1	6.0	
23B	INTERIOR DESIGN	D	3'-0"	8'-0"	0'-2"	WDF	WOOD	PTD	HOLLOW METAL	HM1	6.0	
27	SALES OFFICE 2	A	3'-4"	8'-0"	0'-0 1/2"	GLP	GLASS	CLEAR GLASS	ALUMINUM	N/A	10.0	
28	SALES OFFICE 3	A	3'-4"	8'-0"	0'-0 1/2"	GLP	GLASS	CLEAR GLASS	ALUMINUM	N/A	10.0	
29	SALES OFFICE 4	A	3'-4"	8'-0"	0'-0 1/2"	GLP	GLASS	CLEAR GLASS	ALUMINUM	N/A	10.0	
30	SALES OFFICE 5	A	3'-4"	8'-0"	0'-0 1/2"	GLP	GLASS	CLEAR GLASS	ALUMINUM	N/A	10.0	
32A	RECEPTION	C	5'-4"	8'-0"	0'-2"	ALAL1W	ALUMINUM/GLASS	N/A	ALUMINUM	AL2	4.0	
32B	RECEPTION	C	5'-4"	8'-0"	0'-2"	ALAL1W	ALUMINUM/GLASS	N/A	ALUMINUM	AL2	4.0	
33	DESIGN CENTER 1	A	3'-4"	8'-0"	0'-0 1/2"	GLP	GLASS	CLEAR GLASS	ALUMINUM	N/A	10.0	
34	KITCHEN DISPLAY	C	5'-4"	8'-0"	0'-2"	ALAL1W	ALUMINUM/GLASS	N/A	ALUMINUM	AL2	4.0	
35	OFFICE 4	A	3'-4"	8'-0"	0'-0 1/2"	GLP	GLASS	CLEAR GLASS	ALUMINUM	N/A	10.0	

PERMIT SET 05.27.2025

PROJECT NUMBER: 2103

SHEET NUMBER:

**A-6.00**

PRINT DATE: 05/20/25 5:03:04 PM

DRAWING NAME

**DOOR SCHEDULE**

PROJECT

**SALES CENTER**

FIDDLERS CREEK  
NAPLES, FL

CLIENT

**GULF BAY DEVELOPMENT**  
8152 FIDDLERS CREEK  
PARKWAY, NAPLES, FL  
34114

SCALE

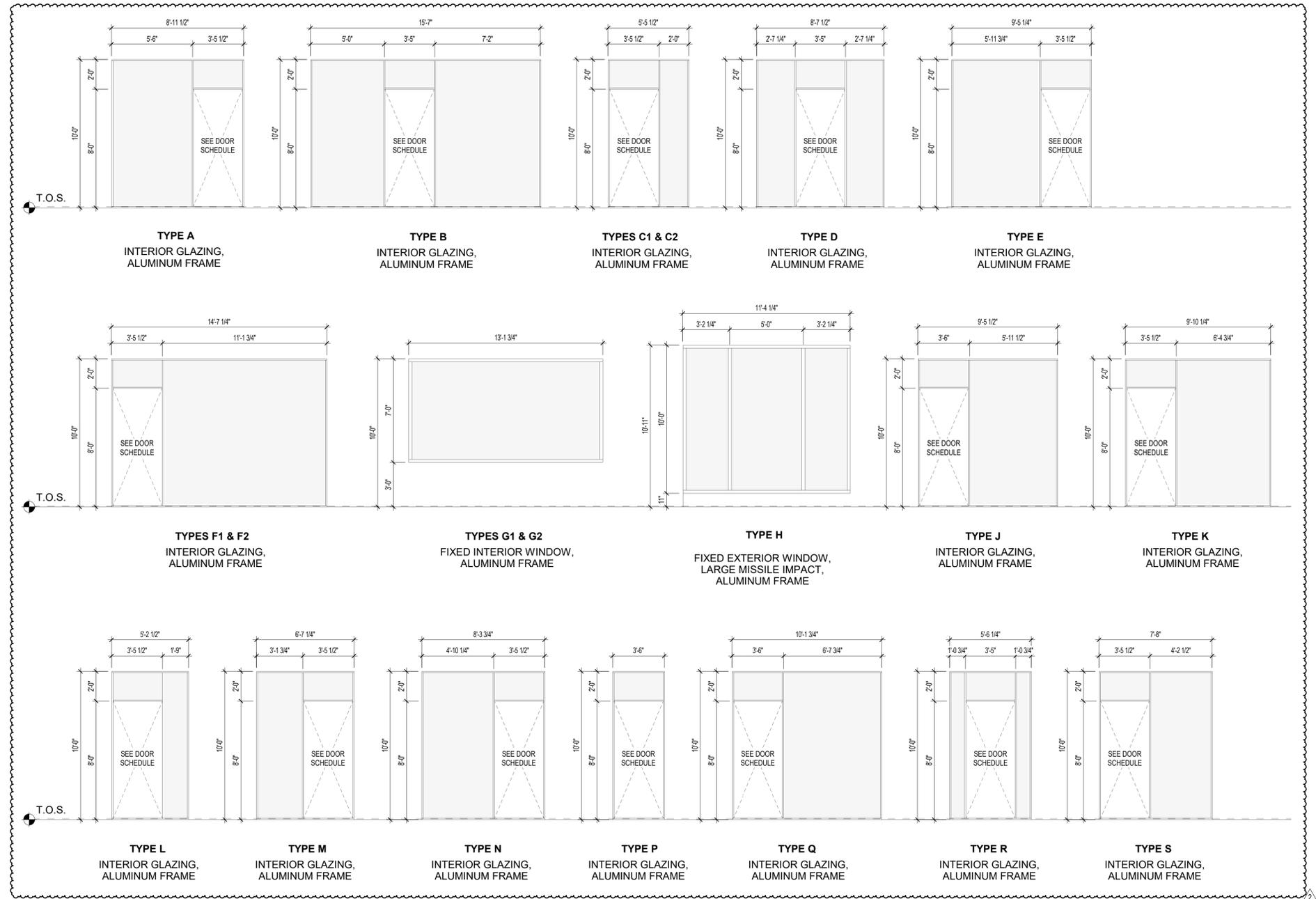
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REV	DESCRIPTION	DATE
0	PERMIT / SUBMITTAL 1	05.27.2025
1	REVISION 2 / SUBMITTAL 2	08.01.2025
2	REVISION 3 / SUBMITTAL 3	

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Peter T. Stromberg, P.A., NCARB  
Chief Architect  
AR0015993



**WINDOW TYPES**

**GENERAL WINDOW NOTES:**

- ALL EXTERIOR GLAZING UNITS SHALL BE LARGE MISSILE IMPACT RESISTANT WITH COLLIER COUNTY PRODUCT APPROVAL. (SHADING COEFFICIENT OF GLAZING SHALL COMPLY WITH FLORIDA ENERGY CALCULATIONS).
- ALL WINDOWS SHALL MEET WIND LOAD CRITERIA DESCRIBED IN STRUCTURAL DRAWINGS.
- SEE WINDOW TYPES FOR WIDTHS, FIELD VERIFY ALL CONCRETE OR MASONRY OPENINGS PRIOR TO FABRICATION.
- ALL EXTERIOR WINDOWS SHALL BE INSTALLED PER COLLIER COUNTY NOTICE OF ACCEPTANCE.
- EXTERIOR GLAZING SHALL BE LAMINATED GLASS AS PER ENERGY CALCULATIONS SPEC.
- NEW FRAME FINISH TO BE COORDINATED WITH FINAL ID SPECIFICATIONS.
- INTERIOR GLAZED PARTITION - BASIS OF DESIGN: CRL CLEAR VIEW GLASS WALL OFFICE SYSTEM. GLAZING TO BE TEMPERED GLASS. GLASS THICKNESS DETERMINED BY GLASS HEIGHT. 3/8" TEMPERED GLASS = 84" RECOMMENDED HEIGHT. 1/2" TEMPERED GLASS = 108" RECOMMENDED HEIGHT.
- SEE SHEET A-5.55 FOR HEADER, SILL, AND JAMB DETAILS.
- CERAMIC FRIT TO BE DESIGNED AND SELECTED BY INTERIOR DESIGNER.

WINDOW / INTERIOR GLAZING SCHEDULE						
MARK	TYPE	WIDTH	HEIGHT	NOA / FPA No.	NOA PRESSURE	COMMENTS
A	INTERIOR GLAZED PARTITION	8'-11 1/2"	10'-0"			
B	INTERIOR GLAZED PARTITION	15'-7"	10'-0"			
C1	INTERIOR GLAZED PARTITION	4'-11 1/2"	10'-0"			
C2	INTERIOR GLAZED PARTITION	4'-11 1/2"	10'-0"			
D	INTERIOR GLAZED PARTITION	8'-7 1/2"	10'-0"			
E	INTERIOR GLAZED PARTITION	9'-5 1/4"	10'-0"			
F1	INTERIOR GLAZED PARTITION	14'-7 1/4"	10'-0"			
F2	INTERIOR GLAZED PARTITION	14'-7 1/4"	10'-0"			
G1	INTERIOR GLAZED PARTITION	13'-1 3/4"	10'-0"			
G2	INTERIOR GLAZED PARTITION	13'-1 3/4"	10'-0"			
H	STOREFRONT - FL17897.1	11'-4 1/4"	10'-0"	FL17897.1	+38.23 / -41.94	WINDOW FRAME COLOR TO MATCH EXISTING
J	INTERIOR GLAZED PARTITION	9'-5 1/2"	10'-0"			
K	INTERIOR GLAZED PARTITION	9'-10 1/4"	10'-0"			
L	INTERIOR GLAZED PARTITION	5'-2 1/2"	10'-0"			
M	INTERIOR GLAZED PARTITION	6'-7 1/4"	10'-0"			
N	INTERIOR GLAZED PARTITION	8'-3 3/4"	10'-0"			
P	INTERIOR GLAZED PARTITION	3'-6"	10'-0"			
Q	INTERIOR GLAZED PARTITION	10'-1 3/4"	10'-0"			
R	INTERIOR GLAZED PARTITION	5'-6 1/4"	10'-0"			
S	INTERIOR GLAZED PARTITION	7'-8"	10'-0"			
T	INTERIOR GLAZED PARTITION	9'-10"	10'-0"			

PERMIT SET 05.27.2025

PROJECT NUMBER: 2103

SHEET NUMBER:

**A-6.01**

PRINT DATE: 8/12/2025 5:05:39 PM

DRAWING NAME

**WINDOW SCHEDULE**

PROJECT

**SALES CENTER**

FIDDLERS CREEK  
NAPLES, FL

CLIENT

**GULF BAY DEVELOPMENT**  
8152 FIDDLER'S CREEK  
PARKWAY, NAPLES, FL  
34114

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SCALE

REV	DESCRIPTION	DATE
0	PERMIT / SUBMITTAL 1	05.27.2025
1	REVISION 2 / SUBMITTAL 2	08.01.2025
2	SUBMITTAL 3	

REV	DESCRIPTION	DATE
0	PERMIT / SUBMITTAL 1	05.27.2025

ACCESSORIES SCHEDULE					
ITEM TAG	TYPE	MANUFACTURER	MODEL	COLOR / FINISH	DESCRIPTION
ACC-1	DELTA ANGULAR GRAB BARS	DELTA ACCESSORIES	41936	POLISHED CHROME	36" GRAB BARS
ACC-2	DELTA ANGULAR GRAB BARS	DELTA ACCESSORIES	41942	POLISHED CHROME	42" GRAB BARS
ACC-3	DOUBLE TOILET TISSUE HOLDER	KOHLER Co.	K-27289-CP	POLISHED CHROME	TISSUE HOLDER
ACC-4	ROBE HOOK	KOHLER Co.	K-14443-CP	POLISHED CHROME	ROBE HOOK
ACC-5	Rectangle Mirror 22inch * 34inch	KOHLER Co.	<varies>		
ACC-10	Simplicity™ - Auto Paper Towel Dispenser - Roll - Battery - Semi-R (68523A-4)	American Specialties Inc.	68523A-4		Roll Paper Towel Dispenser - Semi Recessed - Simplicity - Small - Automatic - Battery Powered

APPLIANCE SCHEDULE					
ITEM TAG	TYPE	MANUFACTURER	MODEL	COLOR / FINISH	DESCRIPTION
AP-1	30" REFRIGERATOR COLUMN	SUB ZERO	DET3050	STAINLESS STEEL	
AP-2	24" DISHWASHER	SUB ZERO	DW2450	STAINLESS STEEL	
AP-3	BEVERAGE CENTER	SUBZERO	DEU2450BG_L	PANEL READY	
AP-4	24" MICROWAVE	WOLF	MS24	M SERIES STAINLESS	
AP-5	BEVERAGE CENTER	SUBZERO	DEU2450CI_R	STAINLESS STEEL	

PLUMBING SCHEDULE						
ITEM TAG	ITEM DESCRIPTION	MANUFACTURER	MODEL # & NAME	COLOR / FINISH	LOCATION	NOTES
P-1	AQUIA IV CUBE	TOTO USA Inc.	MS435124CEMFGN			TO BE INSTALLED WITH TOTO SC134 COMMERCIAL SEAT IN COTTON
P-2	RESTROOM FAUCET	KALLISTA	P26625-00-BAF	BRUSHED FRENCH GOLD	PUBLIC AREA RESTROOMS	
P-3	UNDERMOUNT LAVATORY	KALLISTA	P74234	WHITE	PUBLIC AREA RESTROOMS	
P-4	KITCHEN FAUCET	GROHE	30378000 DEFINED BAR FAUCET	POLISHED CHROME	KITCHEN	
P-5	KITCHEN SINK	PROFLO	PFUC311TA BEALETON	STAINLESS STEEL	KITCHEN	
P-6	BEVERAGE SINK	KALLISTA	P20283	HAMMERED COPPER	BEVERAGE CENTER	
P-7	BEVERAGE FAUCET	KALLISTA	P23175	POLISHED CHROME	BEVERAGE CENTER	